

Property Information | PDF

Account Number: 42959291

Address: 1289 VALERIAN AVE

City: HASLET

Georeference: 41075-P-28 Subdivision: SWEETGRASS Neighborhood Code: 2Z201F Latitude: 32.9573428143 Longitude: -97.3274333551

TAD Map: 2048-468 **MAPSCO:** TAR-007W



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This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: SWEETGRASS Block P Lot 28

Jurisdictions:

CITY OF HASLET (034) TARRANT COUNTY (220)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225) HASLET PID 8 - SWEETGRASS (645)

NORTHWEST ISD (911)

State Code: A Year Built: 2024

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025 Notice Value: \$550,570

Protest Deadline Date: 5/24/2024

Site Number: 800083184

Site Name: SWEETGRASS PHASE 1C Block P Lot 28

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size+++: 2,577
Percent Complete: 100%

Land Sqft*: 7,947 Land Acres*: 0.1824

Pool: N

+++ Rounded.

OWNER INFORMATION

Current Owner:

SAMPSEL TYLER

CARMONA ARIANNA

Deed Date: 12/2/2024

Deed Volume:

Primary Owner Address:

1289 VALERIAN AVE

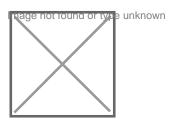
Deed Page:

HASLET, TX 76052 Instrument: D224227435

| Previous Owners | Date | Instrument | Deed Volume | Deed Page |
|-----------------|-----------|------------|-------------|-----------|
| PERRY HOMES LLC | 5/30/2023 | D223095098 | | |

08-02-2025 Page 1

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

| Year | Improvement Market | Land Market | Total Market | Total Appraised* |
|------|--------------------|-------------|--------------|------------------|
| 2025 | \$430,570 | \$120,000 | \$550,570 | \$550,570 |
| 2024 | \$0 | \$77,000 | \$77,000 | \$77,000 |
| 2023 | \$0 | \$84,000 | \$84,000 | \$84,000 |
| 0 | \$0 | \$0 | \$0 | \$0 |

Pending indicates that the property record has not yet been completed for the indicated tax year.

EXEMPTIONS / SPECIAL APPRAISAL

• HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

08-02-2025 Page 2

⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.