

Tarrant Appraisal District

Property Information | PDF

Account Number: 42945931

Address: 9717 NORBORNE ST

City: FORT WORTH
Georeference: 46286-C-1

Subdivision: WESTPOINT CROSSING

Neighborhood Code: 2W3005

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This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: WESTPOINT CROSSING Block

C Lot 1

Jurisdictions:

CITY OF FORT WORTH (026) TARRANT COUNTY (220)

TARRANT REGIONAL WATER DISTRICT (223)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225) WHITE SETTLEMENT ISD (920)

State Code: A Year Built: 2023

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 5/24/2024

Site Number: 800079195

Site Name: WESTPOINT CROSSING Block C Lot 1

Site Class: A1 - Residential - Single Family

Latitude: 32.7462471346

TAD Map: 2000-392 **MAPSCO:** TAR-072C

Longitude: -97.4890858865

Parcels: 1

Approximate Size+++: 1,780
Percent Complete: 100%

Land Sqft*: 7,425 Land Acres*: 0.1705

Pool: N

+++ Rounded.

OWNER INFORMATION

Current Owner:
CASEY ANNETTE P
Primary Owner Address:
9717 NORBORNE ST
FORT WORTH, TX 76108

Deed Date: 11/16/2023

Deed Volume: Deed Page:

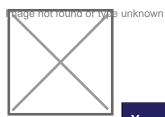
Instrument: D223206713

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

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^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



Year	Improvement Market	Land Market	Total Market	Total Appraised
2025	\$258,406	\$85,000	\$343,406	\$343,406
2024	\$258,406	\$85,000	\$343,406	\$343,406
2023	\$0	\$45,000	\$45,000	\$45,000
0	\$0	\$0	\$0	\$0

Pending indicates that the property record has not yet been completed for the indicated tax year.

EXEMPTIONS / SPECIAL APPRAISAL

• HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.