

Tarrant Appraisal District

Property Information | PDF

Account Number: 42565551

Address: 10524 SUMMER PLACE LN

City: FORT WORTH

Georeference: 3724H-1-20 Subdivision: BROOK MEADOW

Neighborhood Code: 1A020R

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This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: BROOK MEADOW Block 1 Lot

Jurisdictions:

CITY OF FORT WORTH (026) **TARRANT COUNTY (220)**

TARRANT REGIONAL WATER DISTRICT (223)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225)

BURLESON ISD (922)

State Code: A Year Built: 2020

Personal Property Account: N/A Agent: OWNWELL INC (12140) Protest Deadline Date: 5/24/2024 Site Number: 800046672

Latitude: 32.6030465069

TAD Map: 2060-340 MAPSCO: TAR-105Y

Longitude: -97.3044511956

Site Name: BROOK MEADOW 1 20

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size+++: 2,040 Percent Complete: 100%

Land Sqft*: 5,749 Land Acres*: 0.1320

Pool: N

+++ Rounded.

OWNER INFORMATION

Current Owner:

TRAN HUU TIEN

TRAN THIEN HUU PHUC **Primary Owner Address:**

10524 SUMMER PLACE LN FORT WORTH, TX 76140

Deed Date: 1/21/2021

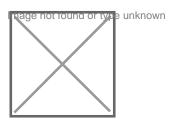
Deed Volume: Deed Page:

Instrument: D221022555

Previous Owners	Date	Instrument	Deed Volume	Deed Page
MSAND BUILD LLC	10/30/2019	D219257969		

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^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$193,692	\$65,000	\$258,692	\$258,692
2024	\$224,735	\$65,000	\$289,735	\$289,735
2023	\$218,554	\$65,000	\$283,554	\$283,554
2022	\$214,535	\$65,000	\$279,535	\$279,535
2021	\$203,446	\$65,000	\$268,446	\$268,446
2020	\$0	\$45,500	\$45,500	\$45,500

Pending indicates that the property record has not yet been completed for the indicated tax year.

EXEMPTIONS / SPECIAL APPRAISAL

• HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.