



Address: [10524 SUMMER PLACE LN](#)
City: FORT WORTH
Georeference: 3724H-1-20
Subdivision: BROOK MEADOW
Neighborhood Code: 1A020R

Latitude: 32.6030465069
Longitude: -97.3044511956
TAD Map: 2060-340
MAPSCO: TAR-105Y



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: BROOK MEADOW Block 1 Lot 20

Jurisdictions:
CITY OF FORT WORTH (026)
TARRANT COUNTY (220)
TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
BURLESON ISD (922)

State Code: A
Year Built: 2020
Personal Property Account: N/A
Agent: OWNWELL INC (12140)
Protest Deadline Date: 5/24/2024

Site Number: 800046672
Site Name: BROOK MEADOW 1 20
Site Class: A1 - Residential - Single Family
Parcels: 1
Approximate Size⁺⁺⁺: 2,040
Percent Complete: 100%
Land Sqft^{*}: 5,749
Land Acres^{*}: 0.1320
Pool: N

+++ Rounded.

* This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:
TRAN HUU TIEN
TRAN THIEN HUU PHUC
Primary Owner Address:
10524 SUMMER PLACE LN
FORT WORTH, TX 76140

Deed Date: 1/21/2021
Deed Volume:
Deed Page:
Instrument: [D221022555](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
MSAND BUILD LLC	10/30/2019	D219257969		



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$193,692	\$65,000	\$258,692	\$258,692
2024	\$224,735	\$65,000	\$289,735	\$289,735
2023	\$218,554	\$65,000	\$283,554	\$283,554
2022	\$214,535	\$65,000	\$279,535	\$279,535
2021	\$203,446	\$65,000	\$268,446	\$268,446
2020	\$0	\$45,500	\$45,500	\$45,500

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.