



**Address:** [6217 THUNDERWING DR](#)  
**City:** FORT WORTH  
**Georeference:** 33744P-D-31  
**Subdivision:** RED EAGLE PLACE  
**Neighborhood Code:** 2N040B

**Latitude:** 32.8575396382  
**Longitude:** -97.4183652625  
**TAD Map:** 2024-432  
**MAPSCO:** TAR-032Y



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

**PROPERTY DATA**

**Legal Description:** RED EAGLE PLACE Block D Lot 31

**Jurisdictions:**  
CITY OF FORT WORTH (026)  
TARRANT COUNTY (220)  
TARRANT REGIONAL WATER DISTRICT (223)  
TARRANT COUNTY HOSPITAL (224)  
TARRANT COUNTY COLLEGE (225)  
EAGLE MTN-SAGINAW ISD (918)

**State Code:** A  
**Year Built:** 2021  
**Personal Property Account:** N/A  
**Agent:** CHANDLER CROUCH (11730)  
**Protest Deadline Date:** 5/24/2024

**Site Number:** 800039214  
**Site Name:** RED EAGLE PLACE D 31  
**Site Class:** A1 - Residential - Single Family  
**Parcels:** 1  
**Approximate Size<sup>+++</sup>:** 2,664  
**Percent Complete:** 100%  
**Land Sqft<sup>\*</sup>:** 5,017  
**Land Acres<sup>\*</sup>:** 0.1152  
**Pool:** N

<sup>+++</sup> Rounded.  
<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

**OWNER INFORMATION**

**Current Owner:**  
GARCIA ARTURO  
GARCIA CELINDA LUJAN  
**Primary Owner Address:**  
6217 THUNDERWING DR  
FORT WORTH, TX 76179

**Deed Date:** 6/25/2021  
**Deed Volume:**  
**Deed Page:**  
**Instrument:** [D221185236](#)

| Previous Owners          | Date       | Instrument                 | Deed Volume | Deed Page |
|--------------------------|------------|----------------------------|-------------|-----------|
| LILLIAN CUSTOM HOMES LLC | 12/17/2020 | <a href="#">D220334600</a> |             |           |



## VALUES

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This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

| Year | Improvement Market | Land Market | Total Market | Total Appraised <sup>+</sup> |
|------|--------------------|-------------|--------------|------------------------------|
| 2025 | \$272,348          | \$75,000    | \$347,348    | \$347,348                    |
| 2024 | \$272,348          | \$75,000    | \$347,348    | \$347,348                    |
| 2023 | \$331,850          | \$75,000    | \$406,850    | \$383,952                    |
| 2022 | \$274,047          | \$75,000    | \$349,047    | \$349,047                    |
| 2021 | \$0                | \$35,000    | \$35,000     | \$35,000                     |
| 2020 | \$0                | \$35,000    | \$35,000     | \$35,000                     |

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

## EXEMPTIONS / SPECIAL APPRAISAL

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- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.