

**Tarrant Appraisal District** 

Property Information | PDF

Account Number: 42467703

Address: 6217 THUNDERWING DR

City: FORT WORTH

Georeference: 33744P-D-31 Subdivision: RED EAGLE PLACE

Neighborhood Code: 2N040B

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This map, content, and location of property is provided by Google Services.



## PROPERTY DATA

Legal Description: RED EAGLE PLACE Block D Lot

Jurisdictions:

CITY OF FORT WORTH (026) **TARRANT COUNTY (220)** 

TARRANT REGIONAL WATER DISTRICT (223)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225) EAGLE MTN-SAGINAW ISD (918)

State Code: A Year Built: 2021

Personal Property Account: N/A Agent: CHANDLER CROUCH (11730) Protest Deadline Date: 5/24/2024

Site Number: 800039214

Latitude: 32.8575396382

Longitude: -97.4183652625

Site Name: RED EAGLE PLACE D 31

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size+++: 2,664 Percent Complete: 100%

**Land Sqft**\*: 5,017 Land Acres\*: 0.1152

Pool: N

+++ Rounded.

## OWNER INFORMATION

**Current Owner:** 

GARCIA ARTURO **Deed Date: 6/25/2021** 

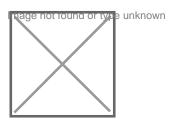
GARCIA CELINDA LUJAN **Deed Volume: Primary Owner Address: Deed Page:** 6217 THUNDERWING DR

**Instrument:** D221185236 FORT WORTH, TX 76179

Previous Owners	Date	Instrument	Deed Volume	Deed Page
LILLIAN CUSTOM HOMES LLC	12/17/2020	D220334600		

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<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



**VALUES** 

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$272,348	\$75,000	\$347,348	\$347,348
2024	\$272,348	\$75,000	\$347,348	\$347,348
2023	\$331,850	\$75,000	\$406,850	\$383,952
2022	\$274,047	\$75,000	\$349,047	\$349,047
2021	\$0	\$35,000	\$35,000	\$35,000
2020	\$0	\$35,000	\$35,000	\$35,000

Pending indicates that the property record has not yet been completed for the indicated tax year.

## **EXEMPTIONS / SPECIAL APPRAISAL**

• HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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<sup>+</sup> Appraised value may be less than market value due to state-mandated limitations of value increases.