



Address: [14120 RABBIT BRUSH LN](#)
City: FORT WORTH
Georeference: 37880A-101-15
Subdivision: SENDERA RANCH
Neighborhood Code: 2Z500D

Latitude: 32.9876502978
Longitude: -97.3951836733
TAD Map: 2030-480
MAPSCO: TAR-005K



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: SENDERA RANCH Block 101
Lot 15

Jurisdictions:
CITY OF FORT WORTH (026)
TARRANT COUNTY (220)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
NORTHWEST ISD (911)

State Code: A

Year Built: 2016

Agent: OOWNWELL INC (12140)

Notice Sent Date: 4/15/2025

Notice Value: \$432,262

Protest Deadline Date: 5/24/2024

Site Number: 800014045
Site Name: SENDERA RANCH 101 15
Site Class: A1 - Residential - Single Family
Parcels: 1
Approximate Size+++: 2,912
Percent Complete: 100%
Land Sqft * : 5,706
Land Acres * : 0.1310
Pool: N

+++ Rounded.

* This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:
SINGLETON ALLISON BROOKE
Primary Owner Address:
14120 RABBIT BRUSH LN
FORT WORTH, TX 76052

Deed Date: 6/2/2022
Deed Volume:
Deed Page:
Instrument: 233-708285-21

Previous Owners	Date	Instrument	Deed Volume	Deed Page
SINGLETON ALLISON B; SINGLETON DALE L	1/19/2017	D217015509		
DR HORTON - TEXAS LTD	8/2/2016	D216079200		



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$362,262	\$70,000	\$432,262	\$432,262
2024	\$362,262	\$70,000	\$432,262	\$400,232
2023	\$380,463	\$60,000	\$440,463	\$363,847
2022	\$309,251	\$50,000	\$359,251	\$330,770
2021	\$250,700	\$50,000	\$300,700	\$300,700
2020	\$251,333	\$50,000	\$301,333	\$301,333

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.