

Tarrant Appraisal District

Property Information | PDF

Account Number: 42142189

Address: 14120 RABBIT BRUSH LN

City: FORT WORTH

Georeference: 37880A-101-15 **Subdivision:** SENDERA RANCH **Neighborhood Code:** 2Z500D Latitude: 32.9876502978 Longitude: -97.3951836733

TAD Map: 2030-480 **MAPSCO:** TAR-005K



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This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: SENDERA RANCH Block 101

Lot 15

Jurisdictions:

CITY OF FORT WORTH (026) TARRANT COUNTY (220)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225)

NORTHWEST ISD (911)

State Code: A Year Built: 2016

Agent: OWNWELL INC (12140)
Notice Sent Date: 4/15/2025
Notice Value: \$432,262

Protest Deadline Date: 5/24/2024

Site Number: 800014045

Site Name: SENDERA RANCH 101 15 **Site Class:** A1 - Residential - Single Family

Parcels: 1

Approximate Size+++: 2,912
Percent Complete: 100%

Land Sqft*: 5,706 Land Acres*: 0.1310

Pool: N

+++ Rounded.

OWNER INFORMATION

Current Owner: Deed Date: 6/2/2022
SINGLETON ALLISON BROOKE Deed Volume:

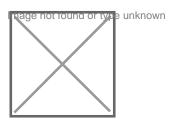
Primary Owner Address: Deed Page:

14120 RABBIT BRUSH LN
FORT WORTH, TX 76052 Instrument: 233-708285-21

Previous Owners	Date	Instrument	Deed Volume	Deed Page
SINGLETON ALLISON B;SINGLETON DALE L	1/19/2017	D217015509		
DR HORTON - TEXAS LTD	8/2/2016	D216079200		

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^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$362,262	\$70,000	\$432,262	\$432,262
2024	\$362,262	\$70,000	\$432,262	\$400,232
2023	\$380,463	\$60,000	\$440,463	\$363,847
2022	\$309,251	\$50,000	\$359,251	\$330,770
2021	\$250,700	\$50,000	\$300,700	\$300,700
2020	\$251,333	\$50,000	\$301,333	\$301,333

Pending indicates that the property record has not yet been completed for the indicated tax year.

EXEMPTIONS / SPECIAL APPRAISAL

• HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.