

Tarrant Appraisal District

Property Information | PDF

Account Number: 40846156

Latitude: 32.8232420025

TAD Map: 2090-420 MAPSCO: TAR-052Q

Longitude: -97.203409432

Address: 1475 W PIPELINE RD

City: HURST

Georeference: 22167--A2

Subdivision: K-MART PLAZA ADDITION-HURST

Neighborhood Code: Food Service General

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This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: K-MART PLAZA ADDITION-

HURST Lot A2 IMP ONLY

Jurisdictions:

Site Number: 80877425 CITY OF HURST (028) Site Name: CHICK-FIL-A **TARRANT COUNTY (220)**

Site Class: FSFastFood - Food Service-Fast Food Restaurant TARRANT COUNTY HOSPITAL (224)

Parcels: 2 TARRANT COUNTY COLLEGE (225)

Primary Building Name: CHICK FIL A / 40846156 HURST-EULESS-BEDFORD ISD (916)

State Code: F1 Primary Building Type: Commercial Year Built: 2004 Gross Building Area+++: 4,892

Personal Property Account: Multi Net Leasable Area+++: 4,892 Agent: WILSON & FRANCO (00625) Percent Complete: 100%

Notice Sent Date: 4/15/2025 Land Sqft*: 0

Notice Value: \$1,566,385 Land Acres*: 0.0000

Protest Deadline Date: 5/15/2025 Pool: N

+++ Rounded.

OWNER INFORMATION

Current Owner: Deed Date: 1/1/2020 CHICK-FIL-A INC **Deed Volume: Primary Owner Address: Deed Page:**

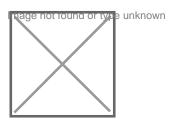
5200 BUFFINGTON RD Instrument: LEASE40846156 ATLANTA, GA 30349

Previous Owners Date Instrument **Deed Volume Deed Page BURK COLLINS & COMPANY INC** 1/1/2004 00000000000000 0000000 0000000

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^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$1,566,385	\$0	\$1,566,385	\$988,736
2024	\$823,947	\$0	\$823,947	\$823,947
2023	\$923,947	\$0	\$923,947	\$923,947
2022	\$923,947	\$0	\$923,947	\$923,947
2021	\$723,947	\$0	\$723,947	\$723,947
2020	\$723,947	\$0	\$723,947	\$723,947

Pending indicates that the property record has not yet been completed for the indicated tax year.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.