



Address: [1475 W PIPELINE RD](#)
City: HURST
Georeference: 22167--A2
Subdivision: K-MART PLAZA ADDITION-HURST
Neighborhood Code: Food Service General

Latitude: 32.8232420025
Longitude: -97.203409432
TAD Map: 2090-420
MAPSCO: TAR-052Q



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: K-MART PLAZA ADDITION-HURST Lot A2 IMP ONLY

Jurisdictions:

CITY OF HURST (028)
TARRANT COUNTY (220)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
HURST-EULESS-BEDFORD ISD (916)

State Code: F1

Year Built: 2004

Personal Property Account: Multi

Agent: WILSON & FRANCO (00625)

Notice Sent Date: 4/15/2025

Notice Value: \$1,566,385

Protest Deadline Date: 5/15/2025

Site Number: 80877425

Site Name: CHICK-FIL-A

Site Class: FSFastFood - Food Service-Fast Food Restaurant

Parcels: 2

Primary Building Name: CHICK FIL A / 40846156

Primary Building Type: Commercial

Gross Building Area+++ : 4,892

Net Leasable Area+++ : 4,892

Percent Complete: 100%

Land Sqft* : 0

Land Acres* : 0.0000

Pool: N

+++ Rounded.

* This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:

CHICK-FIL-A INC

Primary Owner Address:

5200 BUFFINGTON RD
ATLANTA, GA 30349

Deed Date: 1/1/2020

Deed Volume:

Deed Page:

Instrument: LEASE40846156

Previous Owners	Date	Instrument	Deed Volume	Deed Page
BURK COLLINS & COMPANY INC	1/1/2004	0000000000000000	0000000	0000000



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$1,566,385	\$0	\$1,566,385	\$988,736
2024	\$823,947	\$0	\$823,947	\$823,947
2023	\$923,947	\$0	\$923,947	\$923,947
2022	\$923,947	\$0	\$923,947	\$923,947
2021	\$723,947	\$0	\$723,947	\$723,947
2020	\$723,947	\$0	\$723,947	\$723,947

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.