

Tarrant Appraisal District

Property Information | PDF

Account Number: 40626474

Address: 6904 CANYON RIM DR

City: FORT WORTH

Georeference: 33437C-Z-13

Subdivision: RANCH AT EAGLE MOUNTAIN ADDN

Neighborhood Code: 2N010V

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This map, content, and location of property is provided by Google Services.



PROPERTY DATA

Legal Description: RANCH AT EAGLE MOUNTAIN

ADDN Block Z Lot 13

Jurisdictions:

CITY OF FORT WORTH (026)

TARRANT COUNTY (220)

TARRANT COUNTY HOSPITAL (224)

TARRANT COUNTY COLLEGE (225)

EAGLE MTN-SAGINAW ISD (918)

State Code: A Year Built: 2006

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 5/24/2024

Site Number: 40626474

Site Name: RANCH AT EAGLE MOUNTAIN ADDN-Z-13

Latitude: 32.8656635766

TAD Map: 2018-436 MAPSCO: TAR-032S

Longitude: -97.4360809035

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size+++: 1,856

Percent Complete: 100%

Land Sqft*: 5,447

Land Acres*: 0.1250

Pool: N

+++ Rounded.

OWNER INFORMATION

Current Owner: Deed Date: 8/21/2017 ZORN JASEN M **Deed Volume:**

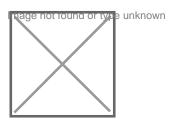
Primary Owner Address: Deed Page: 6904 CANYON RIM DR

Instrument: D217193723 FORT WORTH, TX 76179

Previous Owners	Date	Instrument	Deed Volume	Deed Page
FOLEY JENNIFER	4/30/2007	D207129346	0000000	0000000
ESTATES OF EAGLE MOUNTAIN LTD	1/1/2004	00000000000000	0000000	0000000

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^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$242,173	\$75,000	\$317,173	\$317,173
2024	\$242,173	\$75,000	\$317,173	\$317,173
2023	\$312,529	\$45,000	\$357,529	\$357,529
2022	\$230,970	\$45,000	\$275,970	\$275,970
2021	\$202,855	\$45,000	\$247,855	\$247,855
2020	\$176,563	\$45,000	\$221,563	\$221,563

Pending indicates that the property record has not yet been completed for the indicated tax year.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.