



Address: [5213 MIRROR LAKE DR](#)
City: HALTOM CITY
Georeference: 40009-D-6
Subdivision: SPRINGLAKE PARK ADDITION
Neighborhood Code: 3H010C

Latitude: 32.8372004947
Longitude: -97.2700308875
TAD Map: 2066-424
MAPSCO: TAR-050L



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: SPRINGLAKE PARK ADDITION
Block D Lot 6

Jurisdictions:
HALTOM CITY (027)
TARRANT COUNTY (220)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
BIRDVILLE ISD (902)

State Code: A

Year Built: 2005

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025

Notice Value: \$276,484

Protest Deadline Date: 5/24/2024

Site Number: 40538192
Site Name: SPRINGLAKE PARK ADDITION-D-6
Site Class: A1 - Residential - Single Family
Parcels: 1
Approximate Size⁺⁺⁺: 1,485
Percent Complete: 100%
Land Sqft^{*}: 4,500
Land Acres^{*}: 0.1033
Pool: N

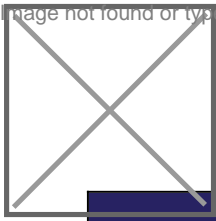
⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:
JURADO SARA E
Primary Owner Address:
5213 MIRROR LAKE DR
HALTOM CITY, TX 76117

Deed Date: 8/30/2016
Deed Volume:
Deed Page:
Instrument: [D216201903](#)



Previous Owners	Date	Instrument	Deed Volume	Deed Page
SIMPSON ANNA D;SIMPSON DUNCAN A	5/22/2013	D213132908	0000000	0000000
BIERY JOYE	5/19/2006	D206174654	0000000	0000000
K B HOMES	1/1/2004	000000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$216,484	\$60,000	\$276,484	\$253,603
2024	\$216,484	\$60,000	\$276,484	\$230,548
2023	\$217,512	\$60,000	\$277,512	\$209,589
2022	\$184,142	\$45,000	\$229,142	\$190,535
2021	\$143,214	\$30,000	\$173,214	\$173,214
2020	\$156,804	\$30,000	\$186,804	\$186,804

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.