



Address: [1635 LOVELAND DR](#)
City: ARLINGTON
Georeference: 7608-10-20
Subdivision: COLDWATER CREEK ADDITION
Neighborhood Code: 1S020F

Latitude: 32.64679459
Longitude: -97.0799190046
TAD Map: 2126-356
MAPSCO: TAR-111D



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: COLDWATER CREEK
ADDITION Block 10 Lot 20

Jurisdictions:

CITY OF ARLINGTON (024)
TARRANT COUNTY (220)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
ARLINGTON ISD (901)

State Code: A

Year Built: 2005

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025

Notice Value: \$276,711

Protest Deadline Date: 5/24/2024

Site Number: 40029751

Site Name: COLDWATER CREEK ADDITION-10-20

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size⁺⁺⁺: 1,459

Percent Complete: 100%

Land Sqft^{*}: 8,276

Land Acres^{*}: 0.1899

Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:

NGUYEN THONG H
NGUYEN THO T LE

Primary Owner Address:

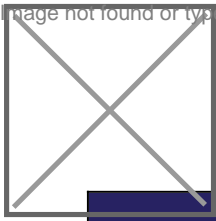
1635 LOVELAND DR
ARLINGTON, TX 76018-3063

Deed Date: 12/22/2009

Deed Volume: 0000000

Deed Page: 0000000

Instrument: 000000000000000



Previous Owners	Date	Instrument	Deed Volume	Deed Page
NGUYEN THO T LE;NGUYEN THONG H	12/21/2009	D209337557	0000000	0000000
TRAN VY THAO HOANG	7/12/2008	000000000000000	0000000	0000000
HOANG VY	9/15/2005	D205281312	0000000	0000000
CHOICE HOMES-TEXAS INC	5/5/2005	D205133618	0000000	0000000
COLDWATER CREEK JOINT VENTURE	1/1/2002	000000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$202,227	\$74,484	\$276,711	\$276,711
2024	\$202,227	\$74,484	\$276,711	\$262,272
2023	\$207,915	\$50,000	\$257,915	\$238,429
2022	\$198,608	\$50,000	\$248,608	\$216,754
2021	\$147,049	\$50,000	\$197,049	\$197,049
2020	\$147,737	\$50,000	\$197,737	\$191,651

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.