



Address: [2506 DRAKE CT](#)
City: KELLER
Georeference: 32942C-B-24
Subdivision: PRESERVE AT HIDDEN LAKES, THE
Neighborhood Code: 3K370A

Latitude: 32.9253197669
Longitude: -97.1962811842
TAD Map: 2090-456
MAPSCO: TAR-024R



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: PRESERVE AT HIDDEN LAKES,
THE Block B Lot 24

Jurisdictions:

CITY OF KELLER (013)
TARRANT COUNTY (220)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
KELLER ISD (907)

State Code: A

Year Built: 2002

Personal Property Account: N/A

Agent: CHANDLER CROUCH (11730)

Notice Sent Date: 4/15/2025

Notice Value: \$557,535

Protest Deadline Date: 5/24/2024

Site Number: 07239645

Site Name: PRESERVE AT HIDDEN LAKES, THE-B-24

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size⁺⁺⁺: 3,186

Percent Complete: 100%

Land Sqft^{*}: 6,000

Land Acres^{*}: 0.1377

Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:

R & L MORRIS FAMILY TRUST

Primary Owner Address:

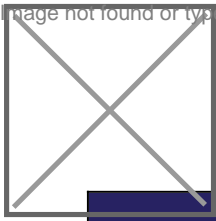
2506 DRAKE CT
KELLER, TX 76248

Deed Date: 12/12/2024

Deed Volume:

Deed Page:

Instrument: [D224223627](#)



Previous Owners	Date	Instrument	Deed Volume	Deed Page
MORRIS LEAH M;MORRIS ROBERT A	9/28/2005	D205307561	0000000	0000000
HERZLICH A WHITE;HERZLICH ELLIOTT	12/9/2002	00162480000150	0016248	0000150
ENGLE HOMES TEXAS INC	1/1/1998	000000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$499,013	\$58,522	\$557,535	\$557,535
2024	\$499,013	\$58,522	\$557,535	\$550,952
2023	\$543,627	\$100,000	\$643,627	\$500,865
2022	\$443,253	\$80,000	\$523,253	\$455,332
2021	\$333,938	\$80,000	\$413,938	\$413,938
2020	\$335,524	\$80,000	\$415,524	\$415,524

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.