

Tarrant Appraisal District

Property Information | PDF

Account Number: 06843913

Address: 913 W REDBUD DR

City: HURST

Georeference: 33746H-1-2

**Subdivision:** REDBUD ESTATES **Neighborhood Code:** 3B010A

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This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

Legal Description: REDBUD ESTATES Block 1 Lot

2

**Jurisdictions:** 

CITY OF HURST (028) TARRANT COUNTY (220)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225) HURST-EULESS-BEDFORD ISD (916)

State Code: A Year Built: 1996

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 5/24/2024

**Site Number:** 06843913

Latitude: 32.8161439016

**TAD Map:** 2090-416 **MAPSCO:** TAR-052V

Longitude: -97.192326298

Site Name: REDBUD ESTATES-1-2

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size+++: 2,153
Percent Complete: 100%

Land Sqft\*: 18,707 Land Acres\*: 0.4294

Pool: N

+++ Rounded.

## **OWNER INFORMATION**

Current Owner:

DIAL SUZETTE A

Primary Owner Address:

913 W REDBUD DR

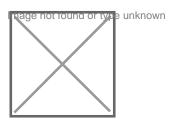
HURST, TX 76053-6333

Deed Date: 2/4/2022
Deed Volume:
Deed Page:
Instrument: DC

Previous Owners	Date	Instrument	Deed Volume	Deed Page
DIAL RICHARD L EST;DIAL SUZETTE A	7/25/1996	00124540000049	0012454	0000049
ROYAL BUILDING CORP	12/19/1995	00122180002037	0012218	0002037
STINSON DEVELOPMENT CORP	1/1/1995	00000000000000	0000000	0000000

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<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



**VALUES** 

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. <u>Tarrant County Tax Office Account Information</u>.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$304,681	\$81,768	\$386,449	\$386,449
2024	\$304,681	\$81,768	\$386,449	\$386,449
2023	\$339,350	\$67,414	\$406,764	\$358,670
2022	\$272,934	\$67,345	\$340,279	\$326,064
2021	\$236,422	\$60,000	\$296,422	\$296,422
2020	\$226,186	\$60,000	\$286,186	\$286,186

Pending indicates that the property record has not yet been completed for the indicated tax year.

## **EXEMPTIONS / SPECIAL APPRAISAL**

- HOMESTEAD GENERAL 11.13(b)
- DISABLED VET 10 to 29 PCT 11.22

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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<sup>+</sup> Appraised value may be less than market value due to state-mandated limitations of value increases.