

**Tarrant Appraisal District** 

Property Information | PDF

Account Number: 06125522

Address: 6209 COURTSIDE DR

City: WATAUGA

Georeference: 8537H-1-10

Subdivision: COURTSIDE ESTATES ADDITION

Neighborhood Code: 3M010A

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This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

Legal Description: COURTSIDE ESTATES

ADDITION Block 1 Lot 10

**Jurisdictions:** 

CITY OF WATAUGA (031) TARRANT COUNTY (220)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225)

KELLER ISD (907) State Code: A Year Built: 1992

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025 Notice Value: \$328,923

Protest Deadline Date: 5/24/2024

**Site Number:** 06125522

Site Name: COURTSIDE ESTATES ADDITION-1-10

Site Class: A1 - Residential - Single Family

Latitude: 32.8845971583

**TAD Map:** 2072-440 **MAPSCO:** TAR-037K

Longitude: -97.2507306659

Parcels: 1

Approximate Size+++: 1,645
Percent Complete: 100%

Land Sqft\*: 6,006 Land Acres\*: 0.1378

Pool: N

+++ Rounded.

## OWNER INFORMATION

Current Owner:
HUMPHREY BRYAN
Primary Owner Address:
6209 COURTSIDE DR
WATAUGA, TX 76148-1367

Deed Date: 9/28/2009
Deed Volume: 0000000
Deed Page: 0000000
Instrument: D209261685

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<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



Previous Owners	Date	Instrument	Deed Volume	Deed Page
IRA PLUS SOUTHWEST LLC	6/12/2009	D209261684	0000000	0000000
WACHOVIA MORTGAGE FSB	5/5/2009	D209136375	0000000	0000000
FOSTER LINDA K	1/31/2001	00147220000123	0014722	0000123
WESLEY JOHN C;WESLEY PRISCILLA	5/25/1995	00119760002128	0011976	0002128
SEC OF HUD	2/13/1995	00118840000373	0011884	0000373
COLONIAL SAVINGS	12/6/1994	00118200002107	0011820	0002107
GAITHER DONALD R;GAITHER SHERRY	5/20/1992	00106480001053	0010648	0001053
STEVE SIMPSON BUILDERS INC	1/1/1992	00105650001334	0010565	0001334
SIMPSON STEVE	3/1/1991	00101890002130	0010189	0002130
BROWN/PACE DEV CORP	10/31/1990	00100950001890	0010095	0001890
TEAM BANK	4/3/1990	00098910000245	0009891	0000245
HAWKINS STEVE	1/1/1986	00000000000000	0000000	0000000

## **VALUES**

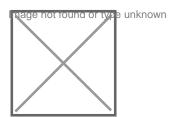
This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. <u>Tarrant County Tax Office Account Information</u>.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$278,923	\$50,000	\$328,923	\$314,360
2024	\$278,923	\$50,000	\$328,923	\$285,782
2023	\$272,633	\$50,000	\$322,633	\$259,802
2022	\$236,790	\$30,000	\$266,790	\$236,184
2021	\$211,290	\$30,000	\$241,290	\$214,713
2020	\$184,591	\$30,000	\$214,591	\$195,194

Pending indicates that the property record has not yet been completed for the indicated tax year.

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<sup>+</sup> Appraised value may be less than market value due to state-mandated limitations of value increases.



## **EXEMPTIONS / SPECIAL APPRAISAL**

• HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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