



**Address:** [6209 COURTSIDE DR](#)  
**City:** WATAUGA  
**Georeference:** 8537H-1-10  
**Subdivision:** COURTSIDE ESTATES ADDITION  
**Neighborhood Code:** 3M010A

**Latitude:** 32.8845971583  
**Longitude:** -97.2507306659  
**TAD Map:** 2072-440  
**MAPSCO:** TAR-037K



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** COURTSIDE ESTATES  
ADDITION Block 1 Lot 10

**Jurisdictions:**

CITY OF WATAUGA (031)  
TARRANT COUNTY (220)  
TARRANT COUNTY HOSPITAL (224)  
TARRANT COUNTY COLLEGE (225)  
KELLER ISD (907)

**State Code:** A

**Year Built:** 1992

**Personal Property Account:** N/A

**Agent:** None

**Notice Sent Date:** 4/15/2025

**Notice Value:** \$328,923

**Protest Deadline Date:** 5/24/2024

**Site Number:** 06125522

**Site Name:** COURTSIDE ESTATES ADDITION-1-10

**Site Class:** A1 - Residential - Single Family

**Parcels:** 1

**Approximate Size<sup>+++</sup>:** 1,645

**Percent Complete:** 100%

**Land Sqft<sup>\*</sup>:** 6,006

**Land Acres<sup>\*</sup>:** 0.1378

**Pool:** N

<sup>+++</sup> Rounded.

<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

## OWNER INFORMATION

**Current Owner:**

HUMPHREY BRYAN

**Primary Owner Address:**

6209 COURTSIDE DR  
WATAUGA, TX 76148-1367

**Deed Date:** 9/28/2009

**Deed Volume:** 00000000

**Deed Page:** 00000000

**Instrument:** [D209261685](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
IRA PLUS SOUTHWEST LLC	6/12/2009	<a href="#">D209261684</a>	0000000	0000000
WACHOVIA MORTGAGE FSB	5/5/2009	<a href="#">D209136375</a>	0000000	0000000
FOSTER LINDA K	1/31/2001	00147220000123	0014722	0000123
WESLEY JOHN C;WESLEY PRISCILLA	5/25/1995	00119760002128	0011976	0002128
SEC OF HUD	2/13/1995	00118840000373	0011884	0000373
COLONIAL SAVINGS	12/6/1994	00118200002107	0011820	0002107
GAITHER DONALD R;GAITHER SHERRY	5/20/1992	00106480001053	0010648	0001053
STEVE SIMPSON BUILDERS INC	1/1/1992	00105650001334	0010565	0001334
SIMPSON STEVE	3/1/1991	00101890002130	0010189	0002130
BROWN/PACE DEV CORP	10/31/1990	00100950001890	0010095	0001890
TEAM BANK	4/3/1990	00098910000245	0009891	0000245
HAWKINS STEVE	1/1/1986	00000000000000	0000000	0000000

## VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised <sup>+</sup>
2025	\$278,923	\$50,000	\$328,923	\$314,360
2024	\$278,923	\$50,000	\$328,923	\$285,782
2023	\$272,633	\$50,000	\$322,633	\$259,802
2022	\$236,790	\$30,000	\$266,790	\$236,184
2021	\$211,290	\$30,000	\$241,290	\$214,713
2020	\$184,591	\$30,000	\$214,591	\$195,194

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.



## EXEMPTIONS / SPECIAL APPRAISAL

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- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.