

Tarrant Appraisal District

Property Information | PDF Account Number: 04724771

Address: 10009 WANDERING WAY

City: BENBROOK

Georeference: 46268-31-5

Subdivision: WESTPARK ESTATES

Neighborhood Code: 4A400C

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This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: WESTPARK ESTATES Block 31

Lot 5

Jurisdictions:

CITY OF BENBROOK (003) TARRANT COUNTY (220)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225)

FORT WORTH ISD (905)

State Code: A Year Built: 1991

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025 Notice Value: \$365,000

Protest Deadline Date: 5/24/2024

Site Number: 04724771

Latitude: 32.6717037669

TAD Map: 2000-364 **MAPSCO:** TAR-086R

Longitude: -97.4840394548

Site Name: WESTPARK ESTATES-31-5 **Site Class:** A1 - Residential - Single Family

Parcels: 1

Approximate Size+++: 2,847
Percent Complete: 100%

Land Sqft*: 14,284 Land Acres*: 0.3279

Pool: N

+++ Rounded.

OWNER INFORMATION

Current Owner:

STONE FAMILY TRUST

Primary Owner Address:
10009 WANDERING WAY

FORT WORTH, TX 76126

Deed Date: 3/11/2024

Deed Volume: Deed Page:

Instrument: D224041574

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^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



Previous Owners	Date	Instrument	Deed Volume	Deed Page
STONE DILLARD FRANKS;STONE PHYLLIS TERRY	9/12/2022	D222225601		
STONE FAMILY TRUST	1/27/2022	D222028668		
STONE DILLARD FRANKS;STONE PHYLLIS TERRY	9/1/2021	D221265174		
STONE FAMILY TRUST	11/14/2019	D219263094		
STONE DILLARD;STONE PHYLLIS	9/22/2006	D206304293	0000000	0000000
HALE BILLY JR;HALE DONNA	6/21/2000	00144060000642	0014406	0000642
EVANS ANGELA KAE	2/12/1999	00136660000261	0013666	0000261
SCOTT DONALD E;SCOTT PATRICIA	7/10/1997	00128360000376	0012836	0000376
CARIKER JUDITH;CARIKER LEIGH	10/23/1991	00104310001120	0010431	0001120
METRO RESEARCH HOMES INC	5/20/1991	00102690001269	0010269	0001269
INTERIM INC	12/31/1900	00000000000000	0000000	0000000

VALUES

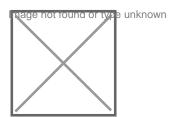
This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. <u>Tarrant County Tax Office Account Information</u>.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$285,000	\$80,000	\$365,000	\$365,000
2024	\$285,000	\$80,000	\$365,000	\$365,000
2023	\$324,999	\$50,001	\$375,000	\$375,000
2022	\$285,000	\$50,000	\$335,000	\$291,500
2021	\$215,000	\$50,000	\$265,000	\$265,000
2020	\$215,000	\$50,000	\$265,000	\$265,000

Pending indicates that the property record has not yet been completed for the indicated tax year.

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⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.



EXEMPTIONS / SPECIAL APPRAISAL

• HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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