



**Address:** [10009 WANDERING WAY](#)  
**City:** BENBROOK  
**Georeference:** 46268-31-5  
**Subdivision:** WESTPARK ESTATES  
**Neighborhood Code:** 4A400C

**Latitude:** 32.6717037669  
**Longitude:** -97.4840394548  
**TAD Map:** 2000-364  
**MAPSCO:** TAR-086R



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** WESTPARK ESTATES Block 31  
Lot 5

**Jurisdictions:**

CITY OF BENBROOK (003)  
TARRANT COUNTY (220)  
TARRANT COUNTY HOSPITAL (224)  
TARRANT COUNTY COLLEGE (225)  
FORT WORTH ISD (905)

**State Code:** A

**Year Built:** 1991

**Personal Property Account:** N/A

**Agent:** None

**Notice Sent Date:** 4/15/2025

**Notice Value:** \$365,000

**Protest Deadline Date:** 5/24/2024

**Site Number:** 04724771

**Site Name:** WESTPARK ESTATES-31-5

**Site Class:** A1 - Residential - Single Family

**Parcels:** 1

**Approximate Size<sup>+++</sup>:** 2,847

**Percent Complete:** 100%

**Land Sqft<sup>\*</sup>:** 14,284

**Land Acres<sup>\*</sup>:** 0.3279

**Pool:** N

<sup>+++</sup> Rounded.

<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

## OWNER INFORMATION

**Current Owner:**

STONE FAMILY TRUST

**Primary Owner Address:**

10009 WANDERING WAY  
FORT WORTH, TX 76126

**Deed Date:** 3/11/2024

**Deed Volume:**

**Deed Page:**

**Instrument:** [D224041574](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
STONE DILLARD FRANKS;STONE PHYLLIS TERRY	9/12/2022	<a href="#">D222225601</a>		
STONE FAMILY TRUST	1/27/2022	<a href="#">D222028668</a>		
STONE DILLARD FRANKS;STONE PHYLLIS TERRY	9/1/2021	<a href="#">D221265174</a>		
STONE FAMILY TRUST	11/14/2019	<a href="#">D219263094</a>		
STONE DILLARD;STONE PHYLLIS	9/22/2006	<a href="#">D206304293</a>	0000000	0000000
HALE BILLY JR;HALE DONNA	6/21/2000	00144060000642	0014406	0000642
EVANS ANGELA KAE	2/12/1999	00136660000261	0013666	0000261
SCOTT DONALD E;SCOTT PATRICIA	7/10/1997	00128360000376	0012836	0000376
CARIKER JUDITH;CARIKER LEIGH	10/23/1991	00104310001120	0010431	0001120
METRO RESEARCH HOMES INC	5/20/1991	00102690001269	0010269	0001269
INTERIM INC	12/31/1900	00000000000000	0000000	0000000

## VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised <sup>+</sup>
2025	\$285,000	\$80,000	\$365,000	\$365,000
2024	\$285,000	\$80,000	\$365,000	\$365,000
2023	\$324,999	\$50,001	\$375,000	\$375,000
2022	\$285,000	\$50,000	\$335,000	\$291,500
2021	\$215,000	\$50,000	\$265,000	\$265,000
2020	\$215,000	\$50,000	\$265,000	\$265,000

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.



## EXEMPTIONS / SPECIAL APPRAISAL

---

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.