

Tarrant Appraisal District

Property Information | PDF

Account Number: 04047869

Latitude: 32.7742576558

TAD Map: 2060-400 **MAPSCO:** TAR-063R

Longitude: -97.2994967468

Address: 3324 E BELKNAP ST

City: FORT WORTH
Georeference: A1056-136

Subdivision:

Neighborhood Code: OFC-North Tarrant County

Googlet Mapd or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: MCLEMORE, ATKIN SURVEY

A1056 TRS 136 136D & 136G

Jurisdictions:

CITY OF FORT WORTH (026)

TARRANT COUNTY (220)

Site Number: 80311989

Site Name: A-1 BAIL BONDS

TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
Site Class: OFCLowRise - Office-Low Rise

TARRANT COUNTY COLLEGE (225) Parcels: 2

FORT WORTH ISD (905) Primary Building Name: A-1 BAIL BONDS / 04047869

State Code: F1Primary Building Type: CommercialYear Built: 1950Gross Building Area***: 1,208Personal Property Account: N/ANet Leasable Area***: 1,208

Agent: SIMMONS PROPERTY TAX SERVICE (006 Percent Complete: 100%

Notice Sent Date: 5/1/2025 Land Sqft*: 37,209
Notice Value: \$102,680 Land Acres*: 0.8542

Protest Deadline Date: 5/31/2024 Pool: N

+++ Rounded.

OWNER INFORMATION

Current Owner:Deed Date: 9/6/2001LLEWELLYN REALTY LPDeed Volume: 0015132Primary Owner Address:Deed Page: 0000177

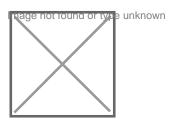
3535 W 7TH ST

FORT WORTH, TX 76107-2531 Instrument: 00151320000177

Previous Owners	Date	Instrument	Deed Volume	Deed Page
LLEWELLYN J C ETAL	12/31/1900	00072950001414	0007295	0001414

07-21-2025 Page 1

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$16,371	\$86,309	\$102,680	\$94,729
2024	\$31,472	\$47,469	\$78,941	\$78,941
2023	\$31,472	\$47,469	\$78,941	\$78,941
2022	\$31,472	\$47,469	\$78,941	\$78,941
2021	\$31,472	\$47,469	\$78,941	\$78,941
2020	\$31,472	\$47,469	\$78,941	\$78,941

Pending indicates that the property record has not yet been completed for the indicated tax year.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

07-21-2025 Page 2

⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.