



Address: [3324 E BELKNAP ST](#)
City: FORT WORTH
Georeference: A1056-136
Subdivision:
Neighborhood Code: OFC-North Tarrant County

Latitude: 32.7742576558
Longitude: -97.2994967468
TAD Map: 2060-400
MAPSCO: TAR-063R



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: MCLEMORE, ATKIN SURVEY
A1056 TRS 136 136D & 136G

Jurisdictions:
CITY OF FORT WORTH (026)
TARRANT COUNTY (220)
TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
FORT WORTH ISD (905)

State Code: F1
Year Built: 1950
Personal Property Account: N/A
Agent: SIMMONS PROPERTY TAX SERVICE (00606)
Notice Sent Date: 5/1/2025
Notice Value: \$102,680
Protest Deadline Date: 5/31/2024

Site Number: 80311989
Site Name: A-1 BAIL BONDS
Site Class: OFCLowRise - Office-Low Rise
Parcels: 2
Primary Building Name: A-1 BAIL BONDS / 04047869
Primary Building Type: Commercial
Gross Building Area⁺⁺⁺: 1,208
Net Leasable Area⁺⁺⁺: 1,208
Percent Complete: 100%
Land Sqft^{*}: 37,209
Land Acres^{*}: 0.8542
Pool: N

+++ Rounded.

* This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:
LLEWELLYN REALTY LP
Primary Owner Address:
3535 W 7TH ST
FORT WORTH, TX 76107-2531

Deed Date: 9/6/2001
Deed Volume: 0015132
Deed Page: 0000177
Instrument: 00151320000177

Previous Owners	Date	Instrument	Deed Volume	Deed Page
LLEWELLYN J C ETAL	12/31/1900	00072950001414	0007295	0001414



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$16,371	\$86,309	\$102,680	\$94,729
2024	\$31,472	\$47,469	\$78,941	\$78,941
2023	\$31,472	\$47,469	\$78,941	\$78,941
2022	\$31,472	\$47,469	\$78,941	\$78,941
2021	\$31,472	\$47,469	\$78,941	\$78,941
2020	\$31,472	\$47,469	\$78,941	\$78,941

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.