



**Address:** [11459 HARPER LN](#)  
**City:** TARRANT COUNTY  
**Georeference:** A 559-2C15  
**Subdivision:** GLEASONS, CYRUS SURVEY  
**Neighborhood Code:** 2W300W

**Latitude:** 32.7393914942  
**Longitude:** -97.5223214632  
**TAD Map:** 1988-388  
**MAPSCO:** TAR-071H



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** GLEASONS, CYRUS SURVEY  
Abstract 559 Tract 2C15 HS

**Jurisdictions:**

TARRANT COUNTY (220)  
EMERGENCY SVCS DIST #1 (222)  
TARRANT COUNTY HOSPITAL (224)  
TARRANT COUNTY COLLEGE (225)  
FORT WORTH ISD (905)

**State Code:** E

**Year Built:** 1995

**Personal Property Account:** N/A

**Agent:** None

**Protest Deadline Date:** 5/24/2024

**Site Number:** 03892565

**Site Name:** GLEASONS, CYRUS SURVEY 559 2C15 HS

**Site Class:** A1 - Residential - Single Family

**Parcels:** 1

**Approximate Size<sup>+++</sup>:** 5,657

**Percent Complete:** 100%

**Land Sqft<sup>\*</sup>:** 43,560

**Land Acres<sup>\*</sup>:** 1.0000

**Pool:** Y

<sup>+++</sup> Rounded.

<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

## OWNER INFORMATION

**Current Owner:**

RAVARIS PAUL

RAVARIS LOUISA

**Primary Owner Address:**

11459 HARPER LN

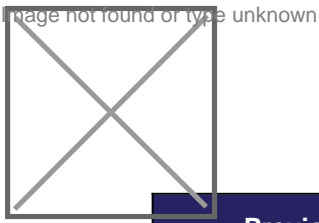
ALEDO, TX 76008-3001

**Deed Date:** 5/17/1994

**Deed Volume:** 0

**Deed Page:** 0

**Instrument:** [D224206785](#)



Previous Owners	Date	Instrument	Deed Volume	Deed Page
FDIC	9/1/1992	00107590001736	0010759	0001736
KAVANAUGH BARBARA ANN	11/19/1986	00087550001515	0008755	0001515
KAVANAUGH MICHAEL E	12/31/1900	00000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised <sup>+</sup>
2025	\$807,363	\$15,000	\$822,363	\$822,363
2024	\$807,363	\$15,000	\$822,363	\$822,363
2023	\$853,462	\$15,000	\$868,462	\$797,631
2022	\$759,419	\$15,000	\$774,419	\$725,119
2021	\$656,370	\$15,000	\$671,370	\$659,199
2020	\$620,010	\$15,000	\$635,010	\$599,272

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.