



Address: [5820 CARB DR](#)
City: WESTWORTH VILLAGE
Georeference: 46210-13-15
Subdivision: WESTOVER ACRES
Neighborhood Code: 4C300B

Latitude: 32.7534371721
Longitude: -97.4127695714
TAD Map: 2024-392
MAPSCO: TAR-060Z



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: WESTOVER ACRES Block 13
Lot 15
Jurisdictions:
WESTWORTH VILLAGE (032)
TARRANT COUNTY (220)
TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
FORT WORTH ISD (905)
State Code: A
Year Built: 1955
Personal Property Account: N/A
Agent: AMERICAN PROPERTY SERVICES (00577)
Protest Deadline Date: 5/24/2024

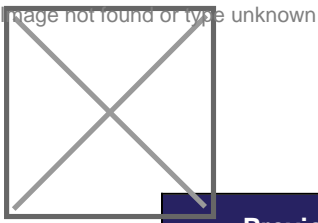
Site Number: 03460843
Site Name: WESTOVER ACRES-13-15
Site Class: A1 - Residential - Single Family
Parcels: 1
Approximate Size⁺⁺⁺: 1,067
Percent Complete: 100%
Land Sqft^{*}: 6,731
Land Acres^{*}: 0.1545
Pool: N

+++ Rounded.

* This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:
SERIES 5820 CARB, SERIES OF FREEDOM FUND INVESTMENTS LLC
Primary Owner Address:
5825 CARB DR
WESTWORTH VILLAGE, TX 76114
Deed Date: 2/6/2023
Deed Volume:
Deed Page:
Instrument: [D223043405](#)



Previous Owners	Date	Instrument	Deed Volume	Deed Page
GERMA PIERRE	4/21/2021	D221111987		
BLUE HOUSE BUYERS LLC	4/1/2021	D221089802		
HARDY LINDA HOLMES	6/26/1985	000000000000000	0000000	0000000
HOLMES LINDA CAROL	12/31/1900	000000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$132,445	\$100,000	\$232,445	\$232,445
2024	\$132,445	\$100,000	\$232,445	\$232,445
2023	\$70,000	\$100,000	\$170,000	\$170,000
2022	\$64,130	\$100,000	\$164,130	\$164,130
2021	\$59,179	\$100,000	\$159,179	\$159,179
2020	\$62,917	\$100,000	\$162,917	\$162,917

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.