



Address: [4303 BRADLEY LN](#)
City: ARLINGTON
Georeference: 44582-7-11
Subdivision: VERMILLION PLACE ADDITION
Neighborhood Code: 1L140M

Latitude: 32.655101839
Longitude: -97.1762996171
TAD Map: 2096-356
MAPSCO: TAR-095X



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: VERMILLION PLACE ADDITION
Block 7 Lot 11

Jurisdictions:

CITY OF ARLINGTON (024)
TARRANT COUNTY (220)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
ARLINGTON ISD (901)

State Code: A

Year Built: 1979

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025

Notice Value: \$240,833

Protest Deadline Date: 5/24/2024

Site Number: 03260305
Site Name: VERMILLION PLACE ADDITION-7-11
Site Class: A1 - Residential - Single Family
Parcels: 1
Approximate Size⁺⁺⁺: 1,169
Percent Complete: 100%
Land Sqft^{*}: 8,840
Land Acres^{*}: 0.2029
Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:

CONAWAY THOMAS
CONAWAY CONNIE

Primary Owner Address:

4303 BRADLEY LN
ARLINGTON, TX 76017-3207

Deed Date: 12/9/1994
Deed Volume: 0011824
Deed Page: 0000503
Instrument: 00118240000503

Previous Owners	Date	Instrument	Deed Volume	Deed Page
REDDY J P MD	4/21/1983	00074920000559	0007492	0000559



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$185,833	\$55,000	\$240,833	\$234,215
2024	\$185,833	\$55,000	\$240,833	\$212,923
2023	\$180,876	\$45,000	\$225,876	\$193,566
2022	\$158,299	\$45,000	\$203,299	\$175,969
2021	\$142,768	\$40,000	\$182,768	\$159,972
2020	\$124,185	\$40,000	\$164,185	\$145,429

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.