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Address: [5525 SUN VALLEY DR](#)
City: FORT WORTH
Georeference: 40723-8-13-10
Subdivision: SUN VALLEY ADDITION
Neighborhood Code: 1H050G

Latitude: 32.6791894365
Longitude: -97.2365209888
TAD Map: 2078-368
MAPSCO: TAR-093L



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This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: SUN VALLEY ADDITION Block 8
Lot E 1/2 13

Jurisdictions:

CITY OF FORT WORTH (026)
TARRANT COUNTY (220)
TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
FORT WORTH ISD (905)

State Code: A

Year Built: 1953

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 5/24/2024

Site Number: 03059413

Site Name: SUN VALLEY ADDITION-8-13-10

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size⁺⁺⁺: 768

Percent Complete: 100%

Land Sqft^{*}: 7,200

Land Acres^{*}: 0.1652

Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:

HINOJOSA MARY

Primary Owner Address:

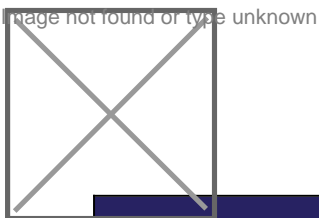
5540 SUN VALLEY DR
FORT WORTH, TX 76119-6537

Deed Date: 1/27/2020

Deed Volume:

Deed Page:

Instrument: [D220134192](#)



Previous Owners	Date	Instrument	Deed Volume	Deed Page
HINOJOSA LISA;HINOJOSA MARY	3/3/2009	D209100626	0000000	0000000
DILLON ANGELA	3/7/1995	00119040002144	0011904	0002144
MOSS SHARON	7/30/1990	00099980000801	0009998	0000801
SECRETARY OF HUD	10/13/1988	00096220001772	0009622	0001772
CITY FEDERAL SAVINGS BANK	8/2/1988	00093430000146	0009343	0000146
LOGES DEANNA S;LOGES JEFFERY L	7/7/1987	00089980002146	0008998	0002146
ROACH JONATHAN	12/5/1985	00083900001038	0008390	0001038
SCHOFIELD MARSHA M	5/16/1984	00078300001592	0007830	0001592
JOHN E NEAGLE	12/31/1900	00000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$61,857	\$21,600	\$83,457	\$83,457
2024	\$61,857	\$21,600	\$83,457	\$83,457
2023	\$64,170	\$21,600	\$85,770	\$85,770
2022	\$69,615	\$5,000	\$74,615	\$74,615
2021	\$41,503	\$5,000	\$46,503	\$46,503
2020	\$23,205	\$5,000	\$28,205	\$26,941

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.