



Address: [5529 SUN VALLEY DR](#)
City: FORT WORTH
Georeference: 40723-8-12-11
Subdivision: SUN VALLEY ADDITION
Neighborhood Code: 1H050G

Latitude: 32.6791896157
Longitude: -97.236327621
TAD Map: 2078-368
MAPSCO: TAR-093L



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: SUN VALLEY ADDITION Block 8
Lot W 1/2 12

Jurisdictions:

CITY OF FORT WORTH (026)
TARRANT COUNTY (220)
TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
FORT WORTH ISD (905)

State Code: A

Year Built: 1955

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 5/24/2024

Site Number: 03059405
Site Name: SUN VALLEY ADDITION-8-12-11
Site Class: A1 - Residential - Single Family
Parcels: 1
Approximate Size⁺⁺⁺: 752
Percent Complete: 100%
Land Sqft^{*}: 7,200
Land Acres^{*}: 0.1652
Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

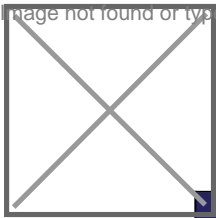
Current Owner:

RUIZ MORENO JOSE ANTONIO
RUIZ HERNANDEZ JOSE P
HERNANDEZ HERNANDEZ MARIA DEL CARMEN

Primary Owner Address:

5529 SUN VALLEY DR
FORT WORTH, TX 76119

Deed Date: 6/30/2015
Deed Volume:
Deed Page:
Instrument: [D215148910](#)



Previous Owners	Date	Instrument	Deed Volume	Deed Page
TANGUMA MARIA D	1/19/1999	00136300000111	0013630	0000111
BALLARD DARRELL D	12/31/1900	000000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$64,185	\$21,600	\$85,785	\$85,785
2024	\$64,185	\$21,600	\$85,785	\$85,785
2023	\$66,545	\$21,600	\$88,145	\$88,145
2022	\$71,987	\$5,000	\$76,987	\$76,987
2021	\$44,400	\$5,000	\$49,400	\$49,400
2020	\$27,567	\$5,000	\$32,567	\$32,567

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.