



Address: [2200 STALCUP RD](#)
City: FORT WORTH
Georeference: 40150-13-7
Subdivision: STALLCUPS FIFTH ADDITION
Neighborhood Code: 1H040N

Latitude: 32.7225340141
Longitude: -97.2378047422
TAD Map: 2078-384
MAPSCO: TAR-079Q



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: STALLCUPS FIFTH ADDITION
Block 13 Lot 7 & 8

Jurisdictions:

CITY OF FORT WORTH (026)
TARRANT COUNTY (220)
TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
FORT WORTH ISD (905)

State Code: A

Year Built: 1953

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 7/12/2024

Site Number: 02951436

Site Name: STALLCUPS FIFTH ADDITION-13-7-20

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size⁺⁺⁺: 1,608

Percent Complete: 100%

Land Sqft^{*}: 9,250

Land Acres^{*}: 0.2123

Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:

RAFAH REAL ESTATE LLC SERIES H

Primary Owner Address:

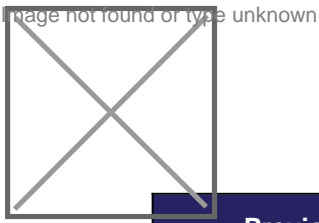
PO BOX 181811
ARLINGTON, TX 76096

Deed Date: 1/1/2017

Deed Volume:

Deed Page:

Instrument: [D217052341](#)



Previous Owners	Date	Instrument	Deed Volume	Deed Page
FARAH MICHAEL	3/27/2014	D214069061	0000000	0000000
FORT WORTH CITY OF	4/16/2013	D213103049	0000000	0000000
BRANCH JOE LEE	4/20/2000	00145250000130	0014525	0000130
GORDON DONALD S	4/19/2000	00145250000129	0014525	0000129
R & D HOMES	3/18/1999	00137170000028	0013717	0000028
SHELBY MICHAEL	3/2/1999	00136990000090	0013699	0000090
ALLIED ACCEPTANCE CORP	12/6/1994	00118150000586	0011815	0000586
SMITH ONA K	12/31/1900	00042540000125	0004254	0000125

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$51,344	\$27,750	\$79,094	\$79,094
2024	\$51,344	\$27,750	\$79,094	\$79,094
2023	\$52,643	\$27,750	\$80,393	\$80,393
2022	\$41,205	\$7,500	\$48,705	\$48,705
2021	\$37,305	\$7,500	\$44,805	\$44,805
2020	\$42,765	\$7,500	\$50,265	\$50,265

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.