



**Address:** [2115 CHESTNUT AVE](#)  
**City:** FORT WORTH  
**Georeference:** 38450-11-8  
**Subdivision:** SHIRLEY, J W ADDITION  
**Neighborhood Code:** 2M110C

**Latitude:** 32.7839620303  
**Longitude:** -97.3641012569  
**TAD Map:** 2036-404  
**MAPSCO:** TAR-062J



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** SHIRLEY, J W ADDITION Block  
11 Lot 8

**Jurisdictions:**

CITY OF FORT WORTH (026)  
TARRANT COUNTY (220)  
TARRANT REGIONAL WATER DISTRICT (223)  
TARRANT COUNTY HOSPITAL (224)  
TARRANT COUNTY COLLEGE (225)  
FORT WORTH ISD (905)

**State Code:** A

**Year Built:** 1920

**Personal Property Account:** N/A

**Agent:** None

**Protest Deadline Date:** 5/24/2024

**Site Number:** 02750694

**Site Name:** SHIRLEY, J W ADDITION-11-8

**Site Class:** A1 - Residential - Single Family

**Parcels:** 1

**Approximate Size<sup>+++</sup>:** 1,056

**Percent Complete:** 100%

**Land Sqft<sup>\*</sup>:** 7,000

**Land Acres<sup>\*</sup>:** 0.1606

**Pool:** N

<sup>+++</sup> Rounded.

<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

## OWNER INFORMATION

**Current Owner:**

SERRANO LUCILA

**Primary Owner Address:**

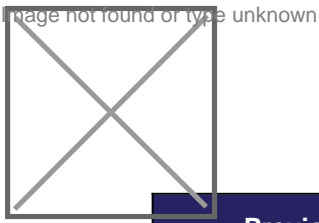
2223 CHESTNUT AVE  
FORT WORTH, TX 76164-9662

**Deed Date:** 12/27/1991

**Deed Volume:** 0010486

**Deed Page:** 0002171

**Instrument:** 00104860002171



Previous Owners	Date	Instrument	Deed Volume	Deed Page
NORTH FT WORTH BANK	12/4/1991	00104630000848	0010463	0000848
PEREZ LUCIO;PEREZ MARIA	11/12/1985	00083690000182	0008369	0000182
EMOGENE E LUMPKIN	12/31/1900	00000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised <sup>+</sup>
2025	\$134,957	\$49,000	\$183,957	\$183,957
2024	\$134,957	\$49,000	\$183,957	\$183,957
2023	\$136,162	\$35,000	\$171,162	\$171,162
2022	\$101,072	\$15,000	\$116,072	\$116,072
2021	\$85,606	\$15,000	\$100,606	\$100,606
2020	\$70,387	\$15,000	\$85,387	\$85,387

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.