



**Address:** [324 HOLDER DR](#)  
**City:** HURST  
**Georeference:** 37690-4-2  
**Subdivision:** SCOTLAND HILLS ADDITION  
**Neighborhood Code:** 3B020G

**Latitude:** 32.8137205617  
**Longitude:** -97.1674564714  
**TAD Map:** 2102-416  
**MAPSCO:** TAR-053U



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** SCOTLAND HILLS ADDITION  
Block 4 Lot 2

**Jurisdictions:**

CITY OF HURST (028)  
TARRANT COUNTY (220)  
TARRANT COUNTY HOSPITAL (224)  
TARRANT COUNTY COLLEGE (225)  
HURST-EULESS-BEDFORD ISD (916)

**State Code:** A

**Year Built:** 1967

**Personal Property Account:** N/A

**Agent:** CHANDLER CROUCH (11730)

**Protest Deadline Date:** 5/24/2024

**Site Number:** 02693100

**Site Name:** SCOTLAND HILLS ADDITION-4-2

**Site Class:** A1 - Residential - Single Family

**Parcels:** 1

**Approximate Size<sup>+++</sup>:** 1,299

**Percent Complete:** 100%

**Land Sqft<sup>\*</sup>:** 6,432

**Land Acres<sup>\*</sup>:** 0.1476

**Pool:** N

+++ Rounded.

\* This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

## OWNER INFORMATION

**Current Owner:**

CLARK GERALD H

CLARK ANDREA R

**Primary Owner Address:**

324 HOLDER DR

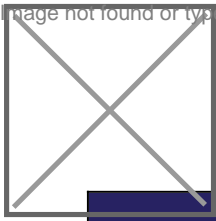
HURST, TX 76053

**Deed Date:** 10/15/2015

**Deed Volume:**

**Deed Page:**

**Instrument:** [D215238336](#)



Previous Owners	Date	Instrument	Deed Volume	Deed Page
PROPERTY MONKEY LLC	4/17/2015	<a href="#">D215079206</a>		
US DEPARTMENT OF HOUSING & URB	7/1/2014	<a href="#">D214143441</a>	0000000	0000000
TODD HELGA	12/31/1900	000000000000000	0000000	0000000

## VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised <sup>+</sup>
2025	\$111,583	\$40,000	\$151,583	\$151,583
2024	\$111,583	\$40,000	\$151,583	\$151,583
2023	\$110,412	\$40,000	\$150,412	\$150,412
2022	\$106,323	\$40,000	\$146,323	\$145,566
2021	\$92,333	\$40,000	\$132,333	\$132,333
2020	\$119,503	\$40,000	\$159,503	\$159,503

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

## EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.