

Tarrant Appraisal District

Property Information | PDF

Account Number: 02677091

Address: 4104 FORBES ST

City: FORT WORTH

Georeference: 37275-7R-2R

Subdivision: SAN ROE ADDITION 4TH FILING

Neighborhood Code: 1H040N

Googlet Mapd or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: SAN ROE ADDITION 4TH

FILING Block 7R Lot 2R

Jurisdictions:

CITY OF FORT WORTH (026) TARRANT COUNTY (220)

TARRANT REGIONAL WATER DISTRICT (223)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225)

FORT WORTH ISD (905)

State Code: A Year Built: 1954

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 5/24/2024

Site Number: 02677091

Site Name: SAN ROE ADDITION 4TH FILING-7R-2R

Site Class: A1 - Residential - Single Family

Latitude: 32.7155709455

TAD Map: 2072-380 **MAPSCO:** TAR-078V

Longitude: -97.2635242761

Parcels: 1

Approximate Size+++: 993
Percent Complete: 100%

Land Sqft*: 7,800 Land Acres*: 0.1790

Pool: N

+++ Rounded.

OWNER INFORMATION

Current Owner:
RICHARDSON LAWRENCE EST

NICHARDSON LAWKENCE EST

Primary Owner Address: 4104 FORBES ST

FORT WORTH, TX 76105-4935

Deed Date: 12/31/1900 Deed Volume: 0000000 Deed Page: 0000000

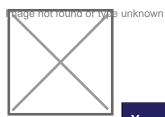
Instrument: 00000000000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

08-05-2025 Page 1

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$71,341	\$23,400	\$94,741	\$94,741
2024	\$71,341	\$23,400	\$94,741	\$94,741
2023	\$69,545	\$23,400	\$92,945	\$92,945
2022	\$59,283	\$5,000	\$64,283	\$64,283
2021	\$51,466	\$5,000	\$56,466	\$56,466
2020	\$55,004	\$5,000	\$60,004	\$60,004

Pending indicates that the property record has not yet been completed for the indicated tax year.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

08-05-2025 Page 2

⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.