



Address: [4104 FORBES ST](#)
City: FORT WORTH
Georeference: 37275-7R-2R
Subdivision: SAN ROE ADDITION 4TH FILING
Neighborhood Code: 1H040N

Latitude: 32.7155709455
Longitude: -97.2635242761
TAD Map: 2072-380
MAPSCO: TAR-078V



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: SAN ROE ADDITION 4TH
FILING Block 7R Lot 2R

Jurisdictions:
CITY OF FORT WORTH (026)
TARRANT COUNTY (220)
TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
FORT WORTH ISD (905)

State Code: A
Year Built: 1954
Personal Property Account: N/A
Agent: None
Protest Deadline Date: 5/24/2024

Site Number: 02677091
Site Name: SAN ROE ADDITION 4TH FILING-7R-2R
Site Class: A1 - Residential - Single Family
Parcels: 1
Approximate Size⁺⁺⁺: 993
Percent Complete: 100%
Land Sqft^{*}: 7,800
Land Acres^{*}: 0.1790
Pool: N

+++ Rounded.

* This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:
RICHARDSON LAWRENCE EST
Primary Owner Address:
4104 FORBES ST
FORT WORTH, TX 76105-4935

Deed Date: 12/31/1900
Deed Volume: 0000000
Deed Page: 0000000
Instrument: 000000000000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).



Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$71,341	\$23,400	\$94,741	\$94,741
2024	\$71,341	\$23,400	\$94,741	\$94,741
2023	\$69,545	\$23,400	\$92,945	\$92,945
2022	\$59,283	\$5,000	\$64,283	\$64,283
2021	\$51,466	\$5,000	\$56,466	\$56,466
2020	\$55,004	\$5,000	\$60,004	\$60,004

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.