



**Address:** [1769 GILL ST](#)  
**City:** BLUE MOUND  
**Georeference:** 37080-12-22  
**Subdivision:** SAGINAW PARK ADDITION  
**Neighborhood Code:** 2N200I

**Latitude:** 32.8568717707  
**Longitude:** -97.3353999956  
**TAD Map:** 2048-432  
**MAPSCO:** TAR-034Z



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** SAGINAW PARK ADDITION  
Block 12 Lot 22

**Jurisdictions:**  
CITY OF BLUE MOUND (004)  
TARRANT COUNTY (220)  
TARRANT COUNTY HOSPITAL (224)  
TARRANT COUNTY COLLEGE (225)  
EAGLE MTN-SAGINAW ISD (918)

**State Code:** A  
**Year Built:** 1962  
**Personal Property Account:** N/A  
**Agent:** None  
**Notice Sent Date:** 4/15/2025  
**Notice Value:** \$206,104  
**Protest Deadline Date:** 5/24/2024

**Site Number:** 02656523  
**Site Name:** SAGINAW PARK ADDITION-12-22  
**Site Class:** A1 - Residential - Single Family  
**Parcels:** 1  
**Approximate Size<sup>+++</sup>:** 1,046  
**Percent Complete:** 100%  
**Land Sqft<sup>\*</sup>:** 6,229  
**Land Acres<sup>\*</sup>:** 0.1429  
**Pool:** N

<sup>+++</sup> Rounded.

<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

## OWNER INFORMATION

**Current Owner:**  
BLOUNT REBECCA  
**Primary Owner Address:**  
1769 GILL ST  
FORT WORTH, TX 76131-1147

**Deed Date:** 3/30/1992  
**Deed Volume:** 0010609  
**Deed Page:** 0001332  
**Instrument:** 00106090001332

Previous Owners	Date	Instrument	Deed Volume	Deed Page
BLOUNT DAWSON	12/31/1900	0000000000000000	0000000	0000000



## VALUES

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This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised <sup>+</sup>
2025	\$166,104	\$40,000	\$206,104	\$149,076
2024	\$166,104	\$40,000	\$206,104	\$135,524
2023	\$157,168	\$25,000	\$182,168	\$123,204
2022	\$128,430	\$25,000	\$153,430	\$112,004
2021	\$94,220	\$25,000	\$119,220	\$101,822
2020	\$94,446	\$24,774	\$119,220	\$92,565

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

## EXEMPTIONS / SPECIAL APPRAISAL

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- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.