

Property Information | PDF

Account Number: 02656523

Latitude: 32.8568717707 Address: 1769 GILL ST City: BLUE MOUND Longitude: -97.3353999956 **TAD Map:** 2048-432

Georeference: 37080-12-22

Subdivision: SAGINAW PARK ADDITION

Neighborhood Code: 2N2001

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This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: SAGINAW PARK ADDITION

Block 12 Lot 22

Jurisdictions:

CITY OF BLUE MOUND (004) **TARRANT COUNTY (220)**

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225) EAGLE MTN-SAGINAW ISD (918)

State Code: A Year Built: 1962

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025 **Notice Value: \$206,104**

Protest Deadline Date: 5/24/2024

Site Number: 02656523

MAPSCO: TAR-034Z

Site Name: SAGINAW PARK ADDITION-12-22 Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size+++: 1,046 Percent Complete: 100%

Land Sqft*: 6,229 Land Acres*: 0.1429

Pool: N

+++ Rounded.

OWNER INFORMATION

Current Owner: Deed Date: 3/30/1992 BLOUNT REBECCA Deed Volume: 0010609 Primary Owner Address: Deed Page: 0001332

1769 GILL ST

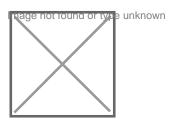
FORT WORTH, TX 76131-1147

Instrument: 00106090001332

Previous Owners	Date	Instrument	Deed Volume	Deed Page
BLOUNT DAWSON	12/31/1900	00000000000000	0000000	0000000

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^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$166,104	\$40,000	\$206,104	\$149,076
2024	\$166,104	\$40,000	\$206,104	\$135,524
2023	\$157,168	\$25,000	\$182,168	\$123,204
2022	\$128,430	\$25,000	\$153,430	\$112,004
2021	\$94,220	\$25,000	\$119,220	\$101,822
2020	\$94,446	\$24,774	\$119,220	\$92,565

Pending indicates that the property record has not yet been completed for the indicated tax year.

EXEMPTIONS / SPECIAL APPRAISAL

• HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.