

Property Information | PDF

Account Number: 02492857

Address: 2212 FAIRWAY DR

City: FORT WORTH

**Georeference:** 34990-11-5

Subdivision: ROLLING HILLS ADDITION

Neighborhood Code: 1H050D

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This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

Legal Description: ROLLING HILLS ADDITION

Block 11 Lot 5

Jurisdictions:

CITY OF FORT WORTH (026) TARRANT COUNTY (220)

TARRANT REGIONAL WATER DISTRICT (223)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225)

FORT WORTH ISD (905)

State Code: A Year Built: 1951

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025 Notice Value: \$312.920

Protest Deadline Date: 5/24/2024

**Site Number:** 02492857

Latitude: 32.6968663144

**TAD Map:** 2060-372 **MAPSCO:** TAR-091D

Longitude: -97.300253409

**Site Name:** ROLLING HILLS ADDITION-11-5 **Site Class:** A1 - Residential - Single Family

Parcels: 1

Approximate Size+++: 1,883
Percent Complete: 100%

Land Sqft\*: 73,149 Land Acres\*: 1.6792

Pool: N

+++ Rounded.

## **OWNER INFORMATION**

Current Owner:
FARMER STEPHANIE
Primary Owner Address:
2212 FAIRWAY DR

FORT WORTH, TX 76119-4563

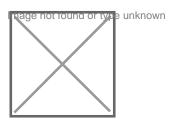
Deed Date: 8/31/2001 Deed Volume: 0015123 Deed Page: 0000147

Instrument: 00151230000147

Previous Owners	Date	Instrument	Deed Volume	Deed Page
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<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



**VALUES** 

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$219,771	\$93,149	\$312,920	\$177,154
2024	\$219,771	\$93,149	\$312,920	\$161,049
2023	\$210,469	\$93,149	\$303,618	\$146,408
2022	\$192,444	\$20,000	\$212,444	\$133,098
2021	\$151,715	\$20,000	\$171,715	\$120,998
2020	\$130,860	\$20,000	\$150,860	\$109,998

Pending indicates that the property record has not yet been completed for the indicated tax year.

## **EXEMPTIONS / SPECIAL APPRAISAL**

• HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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<sup>+</sup> Appraised value may be less than market value due to state-mandated limitations of value increases.