



Address: [2212 FAIRWAY DR](#)
City: FORT WORTH
Georeference: 34990-11-5
Subdivision: ROLLING HILLS ADDITION
Neighborhood Code: 1H050D

Latitude: 32.6968663144
Longitude: -97.300253409
TAD Map: 2060-372
MAPSCO: TAR-091D



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: ROLLING HILLS ADDITION
Block 11 Lot 5

Jurisdictions:
CITY OF FORT WORTH (026)
TARRANT COUNTY (220)
TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
FORT WORTH ISD (905)

State Code: A
Year Built: 1951
Personal Property Account: N/A
Agent: None
Notice Sent Date: 4/15/2025
Notice Value: \$312,920
Protest Deadline Date: 5/24/2024

Site Number: 02492857
Site Name: ROLLING HILLS ADDITION-11-5
Site Class: A1 - Residential - Single Family
Parcels: 1
Approximate Size⁺⁺⁺: 1,883
Percent Complete: 100%
Land Sqft^{*}: 73,149
Land Acres^{*}: 1.6792
Pool: N

+++ Rounded.

* This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:
FARMER STEPHANIE
Primary Owner Address:
2212 FAIRWAY DR
FORT WORTH, TX 76119-4563

Deed Date: 8/31/2001
Deed Volume: 0015123
Deed Page: 0000147
Instrument: 00151230000147

Previous Owners	Date	Instrument	Deed Volume	Deed Page
BROADUS LORRAINE C ESTATE	12/31/1900	0000000000000000	0000000	0000000



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$219,771	\$93,149	\$312,920	\$177,154
2024	\$219,771	\$93,149	\$312,920	\$161,049
2023	\$210,469	\$93,149	\$303,618	\$146,408
2022	\$192,444	\$20,000	\$212,444	\$133,098
2021	\$151,715	\$20,000	\$171,715	\$120,998
2020	\$130,860	\$20,000	\$150,860	\$109,998

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.