



Address: [5607 SHADY HILL LN](#)
City: ARLINGTON
Georeference: 23260-D-21
Subdivision: LAKERIDGE ESTATES ADDITION
Neighborhood Code: 1L070K

Latitude: 32.6929606402
Longitude: -97.1913265339
TAD Map: 2090-372
MAPSCO: TAR-094H



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: LAKERIDGE ESTATES
ADDITION Block D Lot 21

Jurisdictions:

CITY OF ARLINGTON (024)
TARRANT COUNTY (220)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
ARLINGTON ISD (901)

State Code: A

Year Built: 1977

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025

Notice Value: \$268,900

Protest Deadline Date: 5/24/2024

Site Number: 01554522

Site Name: LAKERIDGE ESTATES ADDITION-D-21

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size⁺⁺⁺: 1,319

Percent Complete: 100%

Land Sqft^{*}: 7,800

Land Acres^{*}: 0.1790

Pool: Y

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:

FOSTER GARRISON
FOSTER ELIZABETH

Primary Owner Address:

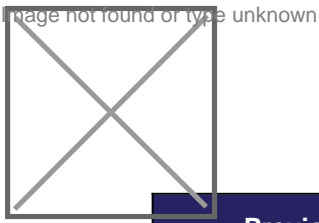
5607 SHADY HILL LN
ARLINGTON, TX 76016

Deed Date: 5/21/2024

Deed Volume:

Deed Page:

Instrument: [D224090198](#)



| Previous Owners | Date | Instrument | Deed Volume | Deed Page |
|------------------------|------------|----------------|-------------|-----------|
| VAUGHN DOUGLAS | 5/1/2002 | 00156500000167 | 0015650 | 0000167 |
| MAURER CHARLES H | 12/12/1990 | 00101480001761 | 0010148 | 0001761 |
| FEDERAL NATL MGT ASSOC | 4/2/1990 | 00099090001406 | 0009909 | 0001406 |
| CITY SAVINGS BANK | 2/14/1990 | 00098550000759 | 0009855 | 0000759 |
| BAILEY WAYNE M | 5/14/1985 | 00081820000205 | 0008182 | 0000205 |
| BAILEY;BAILEY WAYNE M | 9/1/1983 | 00076360000429 | 0007636 | 0000429 |

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

| Year | Improvement Market | Land Market | Total Market | Total Appraised ⁺ |
|------|--------------------|-------------|--------------|------------------------------|
| 2025 | \$212,100 | \$56,800 | \$268,900 | \$268,900 |
| 2024 | \$212,100 | \$56,800 | \$268,900 | \$237,972 |
| 2023 | \$231,698 | \$40,000 | \$271,698 | \$216,338 |
| 2022 | \$202,893 | \$40,000 | \$242,893 | \$196,671 |
| 2021 | \$142,196 | \$40,000 | \$182,196 | \$178,792 |
| 2020 | \$143,283 | \$40,000 | \$183,283 | \$162,538 |

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.