

Tarrant Appraisal District

Property Information | PDF

Account Number: 01522469

Address: 2709 MINTWOOD PL

City: ARLINGTON

Georeference: 23100-8-32

Subdivision: LAKE ARL HIGHLANDS ADDN

Neighborhood Code: 1L0702

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This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: LAKE ARL HIGHLANDS ADDN

Block 8 Lot 32

Jurisdictions:

CITY OF ARLINGTON (024) TARRANT COUNTY (220)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225)

ARLINGTON ISD (901)

State Code: A Year Built: 1973

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025 Notice Value: \$247,259

Protest Deadline Date: 5/24/2024

Site Number: 01522469

Latitude: 32.6995656527

TAD Map: 2096-372 **MAPSCO:** TAR-095A

Longitude: -97.1859393205

Site Name: LAKE ARL HIGHLANDS ADDN-8-32 **Site Class:** A1 - Residential - Single Family

Parcels: 1

Approximate Size+++: 1,381
Percent Complete: 100%

Land Sqft*: 7,480 Land Acres*: 0.1717

Pool: N

+++ Rounded.

OWNER INFORMATION

Current Owner:

WOOD LENARD RAY HARRISON JESSICA PRICE **Primary Owner Address:** 2710 MINTWOOD PL ARLINGTON, TX 76016

Deed Date: 2/13/2024

Deed Volume: Deed Page:

Instrument: D224025156

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^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



| Previous Owners | Date | Instrument | Deed Volume | Deed Page |
|----------------------------------|------------|----------------|-------------|-----------|
| GONZALEZ KEVIN;PEDRO CHELSEA | 8/1/2018 | D218169894 | | |
| CARLSON BARBARA ELLEN | 10/1/2014 | D214216663 | | |
| DRAGANIC RANKA | 5/15/2001 | 00149000000354 | 0014900 | 0000354 |
| MELTON PAULA JO | 8/31/1993 | 00112220000604 | 0011222 | 0000604 |
| SHEARER KATHY;SHEARER MICHAEL | 2/28/1991 | 00101940001934 | 0010194 | 0001934 |
| SECRETARY OF HUD | 11/7/1990 | 00101260000101 | 0010126 | 0000101 |
| RESOLUTION TR/FRANKLIN SAV | 11/6/1990 | 00100990000857 | 0010099 | 0000857 |
| JOHANSON ARTHUR; JOHANSON LESLIE | 4/3/1989 | 00095610002288 | 0009561 | 0002288 |
| PRAH PATRICIA | 2/28/1989 | 00095280000961 | 0009528 | 0000961 |
| ALLEN DOUGLAS;ALLEN KATHLEEN | 5/1/1985 | 00081670000727 | 0008167 | 0000727 |
| NORMA A EVANS | 4/25/1985 | 00000000000000 | 0000000 | 0000000 |
| NORMA A EVANS | 12/31/1900 | 00000000000000 | 0000000 | 0000000 |

VALUES

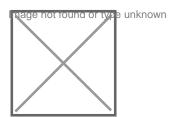
This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. <u>Tarrant County Tax Office Account Information</u>.

| Year | Improvement Market | Land Market | Total Market | Total Appraised* |
|------|--------------------|-------------|--------------|------------------|
| 2025 | \$190,779 | \$56,480 | \$247,259 | \$247,259 |
| 2024 | \$190,779 | \$56,480 | \$247,259 | \$247,259 |
| 2023 | \$216,924 | \$45,000 | \$261,924 | \$261,924 |
| 2022 | \$168,942 | \$45,000 | \$213,942 | \$213,942 |
| 2021 | \$125,000 | \$45,000 | \$170,000 | \$170,000 |
| 2020 | \$125,000 | \$45,000 | \$170,000 | \$170,000 |

Pending indicates that the property record has not yet been completed for the indicated tax year.

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⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.



EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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