



Address: [2709 MINTWOOD PL](#)
City: ARLINGTON
Georeference: 23100-8-32
Subdivision: LAKE ARL HIGHLANDS ADDN
Neighborhood Code: 1L0702

Latitude: 32.6995656527
Longitude: -97.1859393205
TAD Map: 2096-372
MAPSCO: TAR-095A



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: LAKE ARL HIGHLANDS ADDN
Block 8 Lot 32

Jurisdictions:

CITY OF ARLINGTON (024)
TARRANT COUNTY (220)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
ARLINGTON ISD (901)

State Code: A

Year Built: 1973

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025

Notice Value: \$247,259

Protest Deadline Date: 5/24/2024

Site Number: 01522469

Site Name: LAKE ARL HIGHLANDS ADDN-8-32

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size⁺⁺⁺: 1,381

Percent Complete: 100%

Land Sqft^{*}: 7,480

Land Acres^{*}: 0.1717

Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:

WOOD LENARD RAY
HARRISON JESSICA PRICE

Primary Owner Address:

2710 MINTWOOD PL
ARLINGTON, TX 76016

Deed Date: 2/13/2024

Deed Volume:

Deed Page:

Instrument: [D224025156](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
GONZALEZ KEVIN;PEDRO CHELSEA	8/1/2018	D218169894		
CARLSON BARBARA ELLEN	10/1/2014	D214216663		
DRAGANIC RANKA	5/15/2001	00149000000354	0014900	0000354
MELTON PAULA JO	8/31/1993	00112220000604	0011222	0000604
SHEARER KATHY;SHEARER MICHAEL	2/28/1991	00101940001934	0010194	0001934
SECRETARY OF HUD	11/7/1990	00101260000101	0010126	0000101
RESOLUTION TR/FRANKLIN SAV	11/6/1990	00100990000857	0010099	0000857
JOHANSON ARTHUR;JOHANSON LESLIE	4/3/1989	00095610002288	0009561	0002288
PRAH PATRICIA	2/28/1989	00095280000961	0009528	0000961
ALLEN DOUGLAS;ALLEN KATHLEEN	5/1/1985	00081670000727	0008167	0000727
NORMA A EVANS	4/25/1985	00000000000000	0000000	0000000
NORMA A EVANS	12/31/1900	00000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$190,779	\$56,480	\$247,259	\$247,259
2024	\$190,779	\$56,480	\$247,259	\$247,259
2023	\$216,924	\$45,000	\$261,924	\$261,924
2022	\$168,942	\$45,000	\$213,942	\$213,942
2021	\$125,000	\$45,000	\$170,000	\$170,000
2020	\$125,000	\$45,000	\$170,000	\$170,000

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.



EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.