



Address: [625 E POWELL AVE](#)
City: FORT WORTH
Georeference: 20980-6-156
Subdivision: HYDE PARK ADDITION
Neighborhood Code: 4T930L

Latitude: 32.7202718644
Longitude: -97.322909591
TAD Map: 2054-380
MAPSCO: TAR-077P



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: HYDE PARK ADDITION Block 6
Lot 156
Jurisdictions:
CITY OF FORT WORTH (026)
TARRANT COUNTY (220)
TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
FORT WORTH ISD (905)
State Code: A
Year Built: 2020
Personal Property Account: N/A
Agent: RESOLUTE PROPERTY TAX SOLUTION (00988)
Notice Sent Date: 4/15/2025
Notice Value: \$270,809
Protest Deadline Date: 5/24/2024

Site Number: 01408283
Site Name: HYDE PARK ADDITION-6-156
Site Class: A1 - Residential - Single Family
Parcels: 1
Approximate Size⁺⁺⁺: 1,611
Percent Complete: 100%
Land Sqft^{*}: 6,300
Land Acres^{*}: 0.1446
Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:
MBUNGA MAKIESSE JOAO
AREMS ELISA DIABANZA
Primary Owner Address:
1724 SOTOGRANDE BLVD APT 359
HURST, TX 76053

Deed Date: 1/22/2021
Deed Volume:
Deed Page:
Instrument: [D221026736](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
HOINVEST 400 LLC	10/31/2019	D219257693		
MIEJSKI HOLDINGS LLC	10/26/2018	D218242633		
RAGSDALE MARK	7/23/2015	D215169939		
271 CROWLEY TRUST	5/3/2013	D213158265	0000000	0000000
GUTIERREZ BART	8/22/2011	D211206669	0000000	0000000
GUTIERREZ JESSI M	2/25/2011	D211052784	0000000	0000000
FORT WORTH ETAL CITY OF	4/12/1991	00103010000918	0010301	0000918
RODRIGUEZ ALFREDO	9/30/1989	00097880001350	0009788	0001350
MAYFIELD/BRIGGS CHILDRENS TR	2/25/1988	00092520002220	0009252	0002220
BERNAL MARIA A G	6/10/1985	00082060002192	0008206	0002192
SERNS ARTHUR	9/21/1984	00079560001603	0007956	0001603
WALTER SMITH CONT	12/31/1900	00000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$233,009	\$37,800	\$270,809	\$270,809
2024	\$233,009	\$37,800	\$270,809	\$262,618
2023	\$242,486	\$37,800	\$280,286	\$238,744
2022	\$197,040	\$20,000	\$217,040	\$217,040
2021	\$159,776	\$20,000	\$179,776	\$179,776
2020	\$0	\$20,000	\$20,000	\$20,000

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.



EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.