



**Address:** [6528 COLLARD CT](#)  
**City:** NORTH RICHLAND HILLS  
**Georeference:** 15530-10-24  
**Subdivision:** GLENANN ADDITION  
**Neighborhood Code:** 3M040T

**Latitude:** 32.868988384  
**Longitude:** -97.1958883741  
**TAD Map:** 2090-436  
**MAPSCO:** TAR-038V



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** GLENANN ADDITION Block 10  
Lot 24

**Jurisdictions:**

CITY OF N RICHLAND HILLS (018)  
TARRANT COUNTY (220)  
TARRANT COUNTY HOSPITAL (224)  
TARRANT COUNTY COLLEGE (225)  
BIRDVILLE ISD (902)

**State Code:** A

**Year Built:** 1975

**Personal Property Account:** N/A

**Agent:** None

**Notice Sent Date:** 4/15/2025

**Notice Value:** \$347,282

**Protest Deadline Date:** 5/24/2024

**Site Number:** 01042114

**Site Name:** GLENANN ADDITION-10-24

**Site Class:** A1 - Residential - Single Family

**Parcels:** 1

**Approximate Size<sup>+++</sup>:** 1,640

**Percent Complete:** 100%

**Land Sqft<sup>\*</sup>:** 13,165

**Land Acres<sup>\*</sup>:** 0.3022

**Pool:** N

<sup>+++</sup> Rounded.

<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

## OWNER INFORMATION

**Current Owner:**

ROSS BRANDON  
ROSS SYDNEE

**Primary Owner Address:**

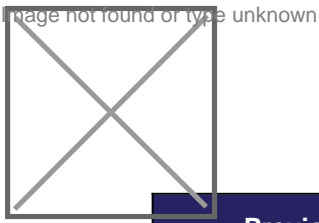
6528 COLLARD CT  
NORTH RICHLAND HILLS, TX 76182

**Deed Date:** 2/5/2021

**Deed Volume:**

**Deed Page:**

**Instrument:** [D221037408](#)



Previous Owners	Date	Instrument	Deed Volume	Deed Page
LEMONS BLAKE	4/24/2019	<a href="#">D219085748</a>		
BOYD JOHN E;BOYD JUDY K	12/31/1900	00074450000444	0007445	0000444
WILLIAMS TOMMIE LEE	12/30/1900	00060180000156	0006018	0000156

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised <sup>+</sup>
2025	\$218,847	\$128,435	\$347,282	\$337,234
2024	\$218,847	\$128,435	\$347,282	\$306,576
2023	\$180,992	\$128,435	\$309,427	\$278,705
2022	\$213,368	\$40,000	\$253,368	\$253,368
2021	\$200,357	\$40,000	\$240,357	\$227,281
2020	\$166,619	\$40,000	\$206,619	\$206,619

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.