



**Address:** [2409 W CANTEY ST](#)  
**City:** FORT WORTH  
**Georeference:** 14810-16-17  
**Subdivision:** FRISCO HEIGHTS ADDITION  
**Neighborhood Code:** APT-Southwest Fort Worth (Bryant Irvin/Hulen)

**Latitude:** 32.7110113099  
**Longitude:** -97.352854711  
**TAD Map:** 2042-376  
**MAPSCO:** TAR-076X



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** FRISCO HEIGHTS ADDITION  
Block 16 Lot 17 & 18

**Jurisdictions:**

CITY OF FORT WORTH (026)  
TARRANT COUNTY (220)  
TARRANT REGIONAL WATER DISTRICT (223)  
TARRANT COUNTY HOSPITAL (224)  
TARRANT COUNTY COLLEGE (225)  
FORT WORTH ISD (905)

**State Code:** BC

**Year Built:** 2012

**Personal Property Account:** N/A

**Agent:** RANGER TAX CONSULTING (12212)

**Notice Sent Date:** 4/15/2025

**Notice Value:** \$2,041,476

**Protest Deadline Date:** 5/31/2024

**Site Number:** 80882253

**Site Name:** VILLAGE EAST APARTMENTS

**Site Class:** Dorm - Apartment-Dormitory/Student Housing

**Parcels:** 16

**Primary Building Name:** 2816 SANDAGE / 01023489

**Primary Building Type:** Multi-Family

**Gross Building Area<sup>+++</sup>:** 6,936

**Net Leasable Area<sup>+++</sup>:** 6,696

**Percent Complete:** 100%

**Land Sqft<sup>\*</sup>:** 12,197

**Land Acres<sup>\*</sup>:** 0.2800

**Pool:** N

+++ Rounded.

\* This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

## OWNER INFORMATION

**Current Owner:**

VILLAGE EAST STUDENT HOUSING LLC  
NPRC INVESTMENTS LLC

**Primary Owner Address:**

1421 OREAD WEST ST STE B  
LAWRENCE, KS 66044

**Deed Date:** 8/30/2024

**Deed Volume:**

**Deed Page:**

**Instrument:** [D224155930](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
NPRC INVESTMENTS LLC;SAVANNAH REALVEST LLC;VILLAGE EAST STUDENT HOUSING LLC	8/28/2024	<a href="#">D224155825</a>		
NPRC INVESTMENTS LLC;VILLAGE EAST STUDENT HOUSING LLC	6/29/2024	<a href="#">D224115048</a>		
MCVAY DRILLING CO;VILLAGE EAST STUDENT HOUSING LLC	6/28/2024	<a href="#">D224115047</a>		
VILLAGE EAST STUDENT HOUSING LLC	11/9/2016	<a href="#">D216265655</a>		
MERIDA AVENUE LLC	6/25/2013	<a href="#">D213174983</a>	0000000	0000000
JAM DEVELOPMENT INC	10/31/2011	<a href="#">D211265126</a>	0000000	0000000
BOYKIN MARSHALL E ES III	1/4/2002	<a href="#">D204257114</a>	0000000	0000000
M EDWARD DESIGN & BLDG CO INC	11/21/2001	00153400000042	0015340	0000042
ROBINSON KATHIE WALKER	12/18/1990	00101290001939	0010129	0001939
ROBINSON DAVID K	12/31/1900	00000000000000	0000000	0000000

## VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised <sup>+</sup>
2025	\$1,879,866	\$161,610	\$2,041,476	\$1,147,277
2024	\$794,454	\$161,610	\$956,064	\$956,064
2023	\$794,454	\$161,610	\$956,064	\$956,064
2022	\$805,439	\$161,610	\$967,049	\$967,049
2021	\$768,245	\$161,610	\$929,855	\$929,855
2020	\$768,245	\$161,610	\$929,855	\$929,855

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.



## EXEMPTIONS / SPECIAL APPRAISAL

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There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.