

Tarrant Appraisal District

Property Information | PDF

Account Number: 01023888

Latitude: 32.7110113099 Address: 2409 W CANTEY ST City: FORT WORTH Longitude: -97.352854711 Georeference: 14810-16-17 **TAD Map: 2042-376** 

MAPSCO: TAR-076X Subdivision: FRISCO HEIGHTS ADDITION

**Neighborhood Code:** APT-Southwest Fort Worth (Bryant Irvin/Hulen)

Geoglet Mapd or type unknown

This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

Legal Description: FRISCO HEIGHTS ADDITION

Block 16 Lot 17 & 18

Jurisdictions:

CITY OF FORT WORTH (026) Site Number: 80882253

**TARRANT COUNTY (220)** 

TARRANT REGIONAL WATER DISTRICT (223) Site Name: VILLAGE EAST APARTMENTS

Site Class: Dorm - Apartment-Dormitory/Student Housing TARRANT COUNTY HOSPITAL (224)

Parcels: 16 TARRANT COUNTY COLLEGE (225)

FORT WORTH ISD (905) Primary Building Name: 2816 SANDAGE / 01023489

State Code: BC Primary Building Type: Multi-Family Year Built: 2012 Gross Building Area+++: 6,936 Personal Property Account: N/A Net Leasable Area+++: 6,696

Agent: RANGER TAX CONSULTING (12212) Percent Complete: 100%

Notice Sent Date: 4/15/2025 **Land Sqft\*:** 12,197 Notice Value: \$2,041,476 Land Acres\*: 0.2800

Protest Deadline Date: 5/31/2024 Pool: N

+++ Rounded.

## OWNER INFORMATION

**Current Owner:** 

VILLAGE EAST STUDENT HOUSING LLC **Deed Date: 8/30/2024** 

NPRC INVESTMENTS LLC **Deed Volume: Primary Owner Address: Deed Page:** 1421 OREAD WEST ST STE B

Instrument: D224155930 LAWRENCE, KS 66044

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<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



Previous Owners	Date	Instrument	Deed Volume	Deed Page
NPRC INVESTMENTS LLC;SAVANNAH REALVEST LLC;VILLAGE EAST STUDENT HOUSING LLC	8/28/2024	D224155825		
NPRC INVESTMENTS LLC;VILLAGE EAST STUDENT HOUSING LLC	6/29/2024	D224115048		
MCVAY DRILLING CO;VILLAGE EAST STUDENT HOUSING LLC	6/28/2024	D224115047		
VILLAGE EAST STUDENT HOUSING LLC	11/9/2016	D216265655		
MERIDA AVENUE LLC	6/25/2013	D213174983	0000000	0000000
JAM DEVELOPMENT INC	10/31/2011	D211265126	0000000	0000000
BOYKIN MARSHALL E ES III	1/4/2002	D204257114	0000000	0000000
M EDWARD DESIGN & BLDG CO INC	11/21/2001	00153400000042	0015340	0000042
ROBINSON KATHIE WALKER	12/18/1990	00101290001939	0010129	0001939
ROBINSON DAVID K	12/31/1900	00000000000000	0000000	0000000

## **VALUES**

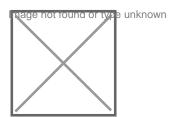
This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. <u>Tarrant County Tax Office Account Information</u>.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$1,879,866	\$161,610	\$2,041,476	\$1,147,277
2024	\$794,454	\$161,610	\$956,064	\$956,064
2023	\$794,454	\$161,610	\$956,064	\$956,064
2022	\$805,439	\$161,610	\$967,049	\$967,049
2021	\$768,245	\$161,610	\$929,855	\$929,855
2020	\$768,245	\$161,610	\$929,855	\$929,855

Pending indicates that the property record has not yet been completed for the indicated tax year.

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<sup>+</sup> Appraised value may be less than market value due to state-mandated limitations of value increases.



## **EXEMPTIONS / SPECIAL APPRAISAL**

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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