



**Address:** [808 GAYE LN](#)  
**City:** ARLINGTON  
**Georeference:** 14300-3-17  
**Subdivision:** FOREST PARK ADDITION-ARLINGTON  
**Neighborhood Code:** 1X050B

**Latitude:** 32.7447997135  
**Longitude:** -97.1254610395  
**TAD Map:** 2114-392  
**MAPSCO:** TAR-082G



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

## PROPERTY DATA

**Legal Description:** FOREST PARK ADDITION-  
ARLINGTON Block 3 Lot 17

**Jurisdictions:**

CITY OF ARLINGTON (024)  
TARRANT COUNTY (220)  
TARRANT COUNTY HOSPITAL (224)  
TARRANT COUNTY COLLEGE (225)  
ARLINGTON ISD (901)

**State Code:** A

**Year Built:** 1956

**Personal Property Account:** N/A

**Agent:** CHANDLER CROUCH (11730)

**Protest Deadline Date:** 5/24/2024

**Site Number:** 00958840

**Site Name:** FOREST PARK ADDITION-ARLINGTON-3-17

**Site Class:** A1 - Residential - Single Family

**Parcels:** 1

**Approximate Size<sup>+++</sup>:** 1,471

**Percent Complete:** 100%

**Land Sqft<sup>\*</sup>:** 9,800

**Land Acres<sup>\*</sup>:** 0.2249

**Pool:** N

<sup>+++</sup> Rounded.

<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

## OWNER INFORMATION

**Current Owner:**

TYLER JACK L

**Primary Owner Address:**

808 GAYE LN  
ARLINGTON, TX 76012-4613

**Deed Date:** 12/31/1900

**Deed Volume:** 0000000

**Deed Page:** 0000000

**Instrument:** 000000000000000

## VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).



Year	Improvement Market	Land Market	Total Market	Total Appraised <sup>+</sup>
2025	\$167,743	\$39,200	\$206,943	\$206,943
2024	\$167,743	\$39,200	\$206,943	\$206,943
2023	\$194,468	\$39,200	\$233,668	\$193,904
2022	\$163,278	\$39,200	\$202,478	\$176,276
2021	\$130,896	\$39,200	\$170,096	\$160,251
2020	\$106,483	\$39,200	\$145,683	\$145,683

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.