



Address: [115 HENDERSON ST](#)
City: FORT WORTH
Georeference: 13780-A-3A
Subdivision: FIELDS HILLSIDE ADDITION
Neighborhood Code: OFC-Central Business District

Latitude: 32.7538103079
Longitude: -97.338436474
TAD Map: 2048-392
MAPSCO: TAR-062Z



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

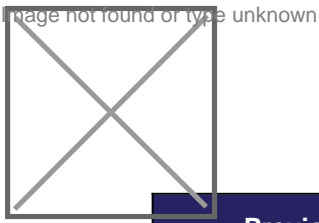
PROPERTY DATA

Legal Description: FIELDS HILLSIDE ADDITION
Block A Lot 3A
Jurisdictions:
CITY OF FORT WORTH (026)
TARRANT COUNTY (220)
TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
CFW PID #1 - DOWNTOWN (001)
FORT WORTH ISD (905)
State Code: C2C
Year Built: 0
Personal Property Account: N/A
Agent: SLATE PROPERTY TAX SOLUTIONS (40001)
Notice Sent Date: 4/15/2025
Notice Value: \$246,025
Protest Deadline Date: 5/31/2024
Site Number: 80075622
Site Name: CLASSIFIED PARKING
Site Class: LandVacComImpVal - Commercial Land With Improvement Value
Parcels: 4
Primary Building Name:
Primary Building Type:
Gross Building Area+++ : 0
Net Leasable Area+++ : 0
Percent Complete: 0%
Land Sqft* : 4,950
Land Acres* : 0.1136
Pool: N

+++ Rounded.
* This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:
LWP FLORENCE STREET LLC
Primary Owner Address:
4020 MAPLE AVE
DALLAS, TX 75219
Deed Date: 11/13/2024
Deed Volume:
Deed Page:
Instrument: [D224204582](#)



Previous Owners	Date	Instrument	Deed Volume	Deed Page
FARMERS & FORESTERS LP	6/8/2017	D217130320		
I WESTERN CAPITAL LTD	12/3/2001	00153280000391	0015328	0000391
GERNSBACHER KAREN	12/31/1900	000000000000000	0000000	0000000

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$1,000	\$245,025	\$246,025	\$246,025
2024	\$1,000	\$214,325	\$215,325	\$215,325
2023	\$1,000	\$184,625	\$185,625	\$185,625
2022	\$0	\$123,750	\$123,750	\$123,750
2021	\$980	\$76,230	\$77,210	\$77,210
2020	\$980	\$63,350	\$64,330	\$64,330

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

There are no exemptions for this property

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.