



Address: [144 MOUNTAIN VIEW DR](#)
City: AZLE
Georeference: 10500-4-16
Subdivision: EAGLE MOUNTAIN VIEW ADDITION
Neighborhood Code: 2Y300C

Latitude: 32.9249348759
Longitude: -97.5301762794
TAD Map: 1988-456
MAPSCO: TAR-015Q



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: EAGLE MOUNTAIN VIEW
ADDITION Block 4 Lot 16

Jurisdictions:
CITY OF AZLE (001)
TARRANT COUNTY (220)
TARRANT REGIONAL WATER DISTRICT (223)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
AZLE ISD (915)

State Code: A
Year Built: 1980
Personal Property Account: N/A
Agent: None
Protest Deadline Date: 7/12/2024

Site Number: 00757489
Site Name: EAGLE MOUNTAIN VIEW ADDITION-4-16
Site Class: A1 - Residential - Single Family
Parcels: 1
Approximate Size⁺⁺⁺: 1,419
Percent Complete: 100%
Land Sqft^{*}: 11,250
Land Acres^{*}: 0.2582
Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:
CLARMONT CHRISTOPHER
Primary Owner Address:
144 MOUNTAIN VIEW DR
AZLE, TX 76020

Deed Date: 5/16/2022
Deed Volume:
Deed Page:
Instrument: [D222127863](#)

Previous Owners	Date	Instrument	Deed Volume	Deed Page
MOSHIER MILDRED KAY	3/10/2022	D222067396		
MOSHIER GERARD N	12/31/1900	0000000000000000	0000000	0000000



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

Year	Improvement Market	Land Market	Total Market	Total Appraised ⁺
2025	\$190,116	\$38,745	\$228,861	\$228,861
2024	\$190,116	\$38,745	\$228,861	\$228,861
2023	\$181,626	\$38,745	\$220,371	\$220,371
2022	\$173,852	\$18,081	\$191,933	\$137,386
2021	\$139,534	\$18,081	\$157,615	\$124,896
2020	\$140,696	\$12,000	\$152,696	\$113,542

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)
- DISABLED VET 100 PCT 11.131
- DISABLED VET 70 to 99 PCT 11.22

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.