

Tarrant Appraisal District

Property Information | PDF

Account Number: 00757489

Address: 144 MOUNTAIN VIEW DR

City: AZLE

Georeference: 10500-4-16

Subdivision: EAGLE MOUNTAIN VIEW ADDITION

Neighborhood Code: 2Y300C

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This map, content, and location of property is provided by Google Services.

Longitude: -97.5301762794 **TAD Map:** 1988-456 **MAPSCO:** TAR-015Q

PROPERTY DATA

Legal Description: EAGLE MOUNTAIN VIEW

ADDITION Block 4 Lot 16

Jurisdictions:

CITY OF AZLE (001)

TARRANT COUNTY (220)

TARRANT REGIONAL WATER DISTRICT (223)

TARRANT COUNTY HOSPITAL (224)

TARRANT COUNTY COLLEGE (225)

AZLE ISD (915) State Code: A

Year Built: 1980

D 1D 1

Personal Property Account: N/A

Agent: None

Protest Deadline Date: 7/12/2024

Site Number: 00757489

Site Name: EAGLE MOUNTAIN VIEW ADDITION-4-16

Site Class: A1 - Residential - Single Family

Latitude: 32.9249348759

Parcels: 1

Approximate Size+++: 1,419
Percent Complete: 100%

Land Sqft*: 11,250

Land Acres*: 0.2582

Pool: N

+++ Rounded.

OWNER INFORMATION

CLARMONT CHRISTOPHER

Deed Date: 5/16/2022

Deed Volume:

Primary Owner Address:

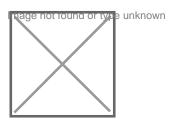
144 MOUNTAIN VIEW DR

AZLE, TX 76020 Instrument: <u>D222127863</u>

Previous Owners	Date	Instrument	Deed Volume	Deed Page
MOSHIER MILDRED KAY	3/10/2022	D222067396		
MOSHIER GERARD N	12/31/1900	00000000000000	0000000	0000000

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^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. <u>Tarrant County Tax Office Account Information</u>.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$190,116	\$38,745	\$228,861	\$228,861
2024	\$190,116	\$38,745	\$228,861	\$228,861
2023	\$181,626	\$38,745	\$220,371	\$220,371
2022	\$173,852	\$18,081	\$191,933	\$137,386
2021	\$139,534	\$18,081	\$157,615	\$124,896
2020	\$140,696	\$12,000	\$152,696	\$113,542

Pending indicates that the property record has not yet been completed for the indicated tax year.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)
- DISABLED VET 100 PCT 11.131
- DISABLED VET 70 to 99 PCT 11.22

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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⁺ Appraised value may be less than market value due to state-mandated limitations of value increases.