



Address: [1204 FORREST DR](#)
City: ARLINGTON
Georeference: 10105-2-21
Subdivision: DOUBLE Y WOODED ESTATE ADDN
Neighborhood Code: 1X030B

Latitude: 32.7528814012
Longitude: -97.1305436612
TAD Map: 2108-392
MAPSCO: TAR-082C



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: DOUBLE Y WOODED ESTATE
ADDN Block 2 Lot 21

Jurisdictions:

CITY OF ARLINGTON (024)
TARRANT COUNTY (220)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
ARLINGTON ISD (901)

State Code: A

Year Built: 1959

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025

Notice Value: \$606,804

Protest Deadline Date: 5/24/2024

Site Number: 00733679

Site Name: DOUBLE Y WOODED ESTATE ADDN-2-21

Site Class: A1 - Residential - Single Family

Parcels: 1

Approximate Size⁺⁺⁺: 3,645

Percent Complete: 100%

Land Sqft^{*}: 21,800

Land Acres^{*}: 0.5004

Pool: N

⁺⁺⁺ Rounded.

^{*} This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:

HAMILTON L RON
HAMILTON MARSHA

Primary Owner Address:

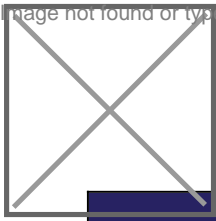
1204 FORREST DR
ARLINGTON, TX 76012-2407

Deed Date: 2/10/2007

Deed Volume: 0000000

Deed Page: 0000000

Instrument: [D205239857](#)



| Previous Owners | Date | Instrument | Deed Volume | Deed Page |
|--------------------------------|------------|----------------------------|-------------|-----------|
| HAMILTON L RON;HAMILTON MARSHA | 10/21/2006 | D205239857 | 0000000 | 0000000 |
| CLARK VIRGINIA M EST | 12/11/2005 | 000000000000000 | 0000000 | 0000000 |
| CLARK JOE W EST;CLARK VIRGINIA | 8/17/2000 | 001449000000387 | 0014490 | 0000387 |
| ROGERS DAN V | 3/15/1999 | 000000000000000 | 0000000 | 0000000 |
| ROGERS JAMES A | 12/31/1900 | 000000000000000 | 0000000 | 0000000 |

VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

| Year | Improvement Market | Land Market | Total Market | Total Appraised ⁺ |
|------|--------------------|-------------|--------------|------------------------------|
| 2025 | \$515,004 | \$91,800 | \$606,804 | \$505,153 |
| 2024 | \$515,004 | \$91,800 | \$606,804 | \$459,230 |
| 2023 | \$528,506 | \$65,000 | \$593,506 | \$417,482 |
| 2022 | \$372,000 | \$65,000 | \$437,000 | \$379,529 |
| 2021 | \$280,026 | \$65,000 | \$345,026 | \$345,026 |
| 2020 | \$281,486 | \$65,000 | \$346,486 | \$346,486 |

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.