



Address: [1003 JOHNSON ST](#)
City: BENBROOK
Georeference: 2350-76A-14
Subdivision: BENBROOK LAKESIDE ADDITION
Neighborhood Code: 4A300F

Latitude: 32.6766587321
Longitude: -97.4538139158
TAD Map: 2012-364
MAPSCO: TAR-087L



Google Map or type unknown

This map, content, and location of property is provided by Google Services.

PROPERTY DATA

Legal Description: BENBROOK LAKESIDE
ADDITION Block 76A Lot 14

Jurisdictions:
CITY OF BENBROOK (003)
TARRANT COUNTY (220)
TARRANT COUNTY HOSPITAL (224)
TARRANT COUNTY COLLEGE (225)
FORT WORTH ISD (905)

State Code: A
Year Built: 1983
Personal Property Account: N/A
Agent: None
Notice Sent Date: 4/15/2025
Notice Value: \$275,824
Protest Deadline Date: 5/24/2024

Site Number: 00209325
Site Name: BENBROOK LAKESIDE ADDITION-76A-14
Site Class: A1 - Residential - Single Family
Parcels: 1
Approximate Size⁺⁺⁺: 1,642
Percent Complete: 100%
Land Sqft^{*}: 9,800
Land Acres^{*}: 0.2249
Pool: N

+++ Rounded.

* This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.

OWNER INFORMATION

Current Owner:
DAMIAN DAVID G
DAMIAN ELEANOR
Primary Owner Address:
1003 JOHNSON ST
BENBROOK, TX 76126-2629

Deed Date: 10/18/1984
Deed Volume: 0007643
Deed Page: 0001736
Instrument: 00076430001736

| Previous Owners | Date | Instrument | Deed Volume | Deed Page |
|--------------------------|------------|-----------------|-------------|-----------|
| JOHNSON DARWIN;JOHNSON J | 12/31/1900 | 000000000000000 | 0000000 | 0000000 |



VALUES

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. [Tarrant County Tax Office Account Information](#).

| Year | Improvement Market | Land Market | Total Market | Total Appraised ⁺ |
|------|--------------------|-------------|--------------|------------------------------|
| 2025 | \$230,824 | \$45,000 | \$275,824 | \$275,824 |
| 2024 | \$230,824 | \$45,000 | \$275,824 | \$269,750 |
| 2023 | \$227,755 | \$40,000 | \$267,755 | \$245,227 |
| 2022 | \$201,595 | \$40,000 | \$241,595 | \$222,934 |
| 2021 | \$164,102 | \$40,000 | \$204,102 | \$202,667 |
| 2020 | \$144,243 | \$40,000 | \$184,243 | \$184,243 |

Pending indicates that the property record has not yet been completed for the indicated tax year.

+ Appraised value may be less than market value due to state-mandated limitations of value increases.

EXEMPTIONS / SPECIAL APPRAISAL

- HOMESTEAD GENERAL 11.13(b)
- DISABLED VET 70 to 99 PCT 11.22

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.