

Tarrant Appraisal District

Property Information | PDF

Account Number: 00209325

Address: 1003 JOHNSON ST

City: BENBROOK

**Georeference: 2350-76A-14** 

**Subdivision: BENBROOK LAKESIDE ADDITION** 

Neighborhood Code: 4A300F

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This map, content, and location of property is provided by Google Services.

## 

## **PROPERTY DATA**

Legal Description: BENBROOK LAKESIDE

ADDITION Block 76A Lot 14

Jurisdictions:

CITY OF BENBROOK (003) TARRANT COUNTY (220)

TARRANT COUNTY HOSPITAL (224) TARRANT COUNTY COLLEGE (225)

FORT WORTH ISD (905)

State Code: A Year Built: 1983

Personal Property Account: N/A

Agent: None

Notice Sent Date: 4/15/2025 Notice Value: \$275,824

Protest Deadline Date: 5/24/2024

Site Number: 00209325

Site Name: BENBROOK LAKESIDE ADDITION-76A-14

Latitude: 32.6766587321

Site Class: A1 - Residential - Single Family

Instrument: 00076430001736

Parcels: 1

Approximate Size+++: 1,642
Percent Complete: 100%

Land Sqft\*: 9,800 Land Acres\*: 0.2249

Pool: N

+++ Rounded.

## OWNER INFORMATION

**Current Owner:** 

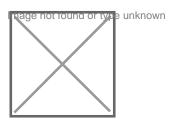
DAMIAN DAVID G
DAMIAN ELEANOR
Deed Date: 10/18/1984
Deed Volume: 0007643
Primary Owner Address:
Deed Page: 0001736

BENBROOK, TX 76126-2629

Previous Owners	Date	Instrument	Deed Volume	Deed Page
JOHNSON DARWIN;JOHNSON J	12/31/1900	00000000000000	0000000	0000000

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<sup>\*</sup> This represents one of a hierarchy of possible values ranked in the following order: Recorded, Computed, System, Calculated.



**VALUES** 

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database. Tarrant County Tax Office Account Information.

Year	Improvement Market	Land Market	Total Market	Total Appraised*
2025	\$230,824	\$45,000	\$275,824	\$275,824
2024	\$230,824	\$45,000	\$275,824	\$269,750
2023	\$227,755	\$40,000	\$267,755	\$245,227
2022	\$201,595	\$40,000	\$241,595	\$222,934
2021	\$164,102	\$40,000	\$204,102	\$202,667
2020	\$144,243	\$40,000	\$184,243	\$184,243

Pending indicates that the property record has not yet been completed for the indicated tax year.

## **EXEMPTIONS / SPECIAL APPRAISAL**

- HOMESTEAD GENERAL 11.13(b)
- DISABLED VET 70 to 99 PCT 11.22

Per Texas Property Tax Code Section 25.027, this website does not include exemption information indicating that a property owner is 65 years of age or older for unauthorized individuals.

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<sup>+</sup> Appraised value may be less than market value due to state-mandated limitations of value increases.